

BUILDING CONDITION REPORT

PREPARED FOR:

TransGrid

IN RESPECT OF:

Dapto Sub Station, Lot 5 Yallah Road, Yallah NSW

6 May 2016

Knight Frank:

Project Management & Building Consultancy Service Lines

Knight Frank Project Management & Building Consultancy is a multi-disciplinary team of professionals offering Project Management, Building Consultancy, Cost Consultancy and Sustainability advice for all commercial property clients.

We undertake the planning, control and co-ordination of projects from inception to completion, to agreed cost, time and quality requirements. Services include:

- New build, refurbishment and office fitout
- Base building upgrades / CAPEX works
- Development monitoring
- Occupational space audits
- Space planning and churn management
- Tenancy works coordination
- Technical Due Diligence
- Condition appraisals
- Make good assessment and negotiation
- Building maintenance
- Schedules of condition
- PPM schedules
- Project budgeting and cost control
- Reinstatement cost assessments
- Value engineering / design option assessment
- Sustainability advice
- NABERS Assessments
- CBD Scheme compliance (BEEC's)
- Environmental Upgrade Agreements

Knight Frank:

Passionately Professional

At Knight Frank Project Management & Building Consultancy our goal is to work closely with owners and occupiers of commercial and industrial premises to deliver excellent, practical, and commercially minded Project Management & Building Consultancy solutions which align perfectly with the business requirements of our clients.

We seek to apply the following guiding principles to every project, every instruction, and in every dealing we undertake:

- Trust and integrity at every level
- Teamwork at the heart of everything we do
- Driven to go the extra mile to exceed our clients requirements
- Professionalism that is unrivalled

We're passionate about property. We aim to be progressive in our thinking. And above all, we are consummately professional in everything we do.

Quality Assurance

Report Version	Prepared By		Audited By		Authorised By		Comments & Distribution
	Name	Date	Name	Date	Name	Date	
Issue 1	CB	05/04/2016	CB	06/05/2016	CB	06/05/2016	David Pearce - TransGrid
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1. Introduction

1.1. Instructions and Brief

Knight Frank Project Management & Building Consultancy received instructions to proceed with an inspection of all the substations and depot sites within NSW from Mr David Pearce of Transgrid on 1st December 2015.

In summary, you required us to make a visual inspection of the property and to provide an executive summary report of our findings as to its general features, form of construction and state of repair of the property. The specifics of the client brief are detailed below:

- Boundary fencing (if no fencing is evident please note in condition report).
- Palisade fencing – not all properties will have palisade fencing.
- All buildings listed within fee proposal, revision 4, dated 17/11/15.
- Building services.
- Driveway/internal roads.
- Hard stand areas.
- Mechanical services.
- Electrical services.
- Fire services.
- Hydraulic services.
- Compliance with current BCA (Depot stations only) with BCA review of Substations at time of construction.
- Specialised electricity or communication infrastructure is not included in the scope for insurance valuations or condition reports.
- Include for a block plan of the buildings.

Our understanding of your detailed requirements was confirmed to you in our fee proposal, revision 4, dated 17/11/15. This proposal also indicated the limitations that we anticipated would apply to our work and these are repeated at Appendix IV. We confirm that the anticipated limitations apply in full to our inspection and this report.

1.2. Site Inspection

The properties were inspected between the months of December 2015 – March 2016 by the following team members:

- Chris Barker MRICS, Director – Knight Frank Australia Pty Ltd
- Alan Stewart MRICS, Senior Building Consultant – Knight Frank Australia Pty Ltd
- Jonston Graves MRICS, Building Consultant – Knight Frank Australia Pty Ltd
- Ron Philip Zachariah B.E MEM CEM M.AIRHA, Senior Building Consultant – Knight Frank Australia Pty Ltd

We were not accompanied during our inspection, but we were provided with access cards and keys to enable access to circa all internal areas of the buildings during the course of our inspection.

The prevailing weather at the time of our inspection dry and bright.

The front elevation of the buildings is assumed to face due east and all other parts of the property take their compass reference from this orientation.



Dapto Substation - Image courtesy of TransGrid

1.3. Documentation Reviewed

In the Schedule of Documents Reviewed, as detailed below, we identify those documents that have been reviewed in the course of preparing this report.

Documents reviewed include:

- Site Management Plan.
- Site Asbestos Report.

No maintenance documentation was provided or reviewed and our report has been based on physical inspection of the asset and speaking with the above maintenance contractors.

1.4. Terminology

Where the terms “right hand” or “left hand” are used, they assume that the reader is facing the element being described.

Where the condition grading has been used in assessing the asset and its elements, based on the clients requirements.

Existing Condition Grading

The following priority grades are recommended in the context of a Capex & R&M schedule:

Priority 1	Urgent work that will prevent immediate closure of premises and / or address an immediate high risk to the health and safety of occupants and / or remedy a serious breach of legislation.
Priority 2	Essential work required within two to four years that will prevent serious deterioration of the fabric or services and / or address a medium risk to the health and safety of occupants and / or remedy a less serious breach of legislation.
Priority 3	Desirable work required within five to seven years that will prevent deterioration of the fabric or services and / or address a medium risk to the health and safety of occupants and / or remedy a minor breach of legislation.
Priority 4	Long term work required between eight to ten year planning period that will prevent deterioration of the fabric or services.

All elements have been assessed over the following periods:

- Immediate within 12 months
- Short term 1-2 years
- Medium term 3-5 years
- Long term 6-10 years

2. General Description of Property



Dapto Substation

The site comprises of one main two storey building and supplementary storage buildings forming the Dapto Substation accommodation. The buildings were originally constructed in 1962 with minimal major refurbishments since construction date.

The site is located on Lot 5 Yallah Road, Yallah via an access road.

The buildings are classified are follows:

Building Name	Description Overview
Control Building	Double storey building with a combination of fair faced brickwork, metal glazed windows, timber doors, roller shutter doors and a low pitched roof with metal profile roofing sheets. Internal finishes include combination of floor finishes, predominately painted walls and a combination of ceiling finishes.
Out buildings	1 no. steel framed storage shed with metal clad walls and roof; 3 no. single storey brick buildings with metal profiled roofs currently used as storage buildings Fire hydrant and storage buildings Prefabricated modern modular Relay building 1 no. large steel framed building with metal profiled cladded walls and roof

The buildings include a range of basic commercial and domestic type services including:

Mechanical

- Split system air conditioning units
- Mechanical exhaust

Electrical

- Electrical supply and distribution boards
- General lighting
- Sub-station equipment (outside scope)

Fire

- Fire indicator panel
- VESDA detection system
- Smoke/heat detection
- Sprinklers
- Hydrants
- Fire Extinguishers and hose reels

Hydraulic

- Cold water service and meter
- Hot water service
- Sanitary plumbing and drainage

There are also a number of complex electrical items within the building which forms part of the building infrastructure; such items fall outside the scope of these works.

3. Description and Condition Overview

The properties are generally in fair condition commensurate with their age and use and appear to be free from serious structural defects. We did note however, that a number of minor items of repairs which are detailed below and within Appendix I, Capital Expenditure forecast.

3.1. External

- The external brick facades are in good to fair overall condition with no major issues noted. Minor repairs are required.
- The roof coverings are in fair to poor condition, commensurate with their age. Due to life cycle expiry and water ingress issues we recommend replacement in the reporting period. There is also some water ingress issues noted and will require repairs subject to roof replacement dates;
- The external drainage including gutters and downpipes are in fair to poor condition commensurate with their age. We recommend replacing rainwater goods in-line with roof coverings in the long term.
- The windows and entrance doors vary in condition. A number of Control Building doors and windows have been recently replaced; however, remaining will require replacement within the reporting period. The windows to both buildings appear to be original, dating from initial construction and given their life expectancy we would recommend replacement in the long term;
- The external yard areas throughout the site are aged but breaking up in areas with ongoing repairs required throughout the reporting period including steel channel drain coverings;
- The main access road is in fair condition with isolated areas of wear evident;
- The boundary fencing is considered to be in fair condition. We would recommend the chain link fence be replaced in the medium term due to corrosion. In addition regular maintenance of the associated security/entry gates will be required over the reporting period.
- The outbuildings are dated with damaged facades, roofs etc. These will require refurbishment works subject to future use;
- The external relay building is in good condition with no major works envisaged in the reporting period.

3.2. Internal

3.2.1. Generally

The buildings are in use and comprises of a combination of floor coverings including fairfaced concrete, vinyl tile, vinyl sheet, ceramic tile, quarry tile etc. a combination of fair faced brickwork and plaster painted walls with covered skirting and a combination of plaster painted ceilings and suspended ceilings with surface mounted and recessed strip light fittings.

The buildings finishes are predominately aged throughout with soiled surfaces and generally considered to be in fair condition commensurate with age and use. We did not note any major defects internally; however, the building would welcome a number of planned upgrades to the finishes including floor coverings and redecoration over the reporting period. In addition to these works the following items require more short term action as detailed below:

- Possible asbestos used below the aged vinyl tile flooring which will need to be planned for in the event any replacement works are carried out;
- Asbestos has been identified in the building in a number of locations and should form part of any future management plan;
- The lighting was in fair condition, aged with a number of missing light diffusers and tubes not working. The lighting is also not energy efficient and would welcome modernisation in the reporting period;
- Split A/C systems will require replacement / upgrade in the long term.
- The ducted air cooled chillers are in poor condition and require replacement.
- Local patch repairs required to the ceilings in localised areas as a result of water damage from roof leaks. These will require local repairs in the short term.
- Internal finishes will require modernisation throughout subject to use of building.

3.3. Services generally

The property contains electricity and water supplied from a mains supply with meters located internally and externally to the building. Whilst we have not carried out an inspection or any tests on the mechanical, electrical or drainage services, we noted that the systems are generally in a fair condition and appear to be regularly maintained.

The electrical services are generally in fair condition albeit aged and would welcome an overhaul in the reporting period given their age and parts becoming obsolete. There are distribution boards which do not contain RCD protection, which was required from the 18th February 2015 under Occupational Health and Safety Amendment (Residual Current Devices) Regulation 2011. The wiring to the property appears to be in fair condition and we do not expect any major rewiring is required within the reporting period.

The electricity appears to be used to supply lighting and power which includes a combination of surface mounted and recessed spot lights (35 or 50watts downlights) and strip lights (T8 twin 36watts) operated by switches, a mixture of Mitsubishi and Dalkia split system air conditioning units to each of the buildings and general electrical power etc.

The main air conditioning throughout the building is via a ducted system using air cooled chillers and air handling units. These are in poor condition and should be replaced in the short term.

The property benefits from varying types and models of split air conditioning units of varying sizes and ages. These are in fair condition but will require replacement within the reporting period based on life expectancy.

We noted that certain lights were not working within the properties and generally the fittings would benefit from an upgrade as part of any refurbishment works along with individual tube replacement where not working at present as detailed above. We would recommend converting in the short term to replace faulty fittings with T5 retrofits or LED retrofits.

The water mains supply is predominantly serving the toilets and kitchen/tea point areas via hot water units.

No inspection could be undertaken on the below ground drains but we have made comment on the above ground drainage in the external section above.

The toilets within the building are aged but still performing. They include typical sanitary fittings and include WCs, urinals, showers and wash basins. We have allowed for refurbishment within the reporting period based on their age and condition.

The kitchen area has been modernised with no major works required in the reporting period.

The electric water heaters/boilers are aged but still performing. Given their life expectancy replacement of these units should be allowed for in the reporting period. The pipe work to these units appeared to be in fair condition but as part of the long term refurbishment, given the age we would budget for replacement. We also did not cite any thermostatic valves which should be retrospectively fitted as part of WH&S requirements.

The fire and sprinkler systems throughout are in good to fair condition and annually maintained. Given the age of the sprinklers a percentage of the sprinklers will need to be tested after 24 years under the AS 1851 2005 maintenance standards. In addition to this annual certification and Fire Safety Statement will need to be provided.

The fire exit signs and lighting are basic, aged or not present. Allow for upgrades as required along with ongoing maintenance should be allowed for along with annual testing.

The fire control panel is analogue and aged. We would recommend updating the panel with a digital panel as required.

There is no WH&S Emergency shower and eyewash station within the battery room although there is a hose. We have budgeted for immediate replacement of this item.

3.4. Building Code of Australia (BCA)

The buildings will not satisfy a variety of contemporary standards of construction and performance criteria set out in the current Building Codes, because the BCA is continual being upgraded. This statement is true of the vast majority of buildings in the Australia.

In NSW the Environmental Planning and Assessment Act 2005 (EP&A Act) contains the legislation applicable to the development of buildings. The EP&A Act applies the BCA as the technical requirements to be met in new buildings and new building work. This legislation does not apply retrospectively to existing buildings. This avoids the need for constant improvement of properties to satisfy current standards.

However, in addition to the requirement for new work to comply with the BCA, in cases of existing buildings undergoing alterations and/or additions, some discretion is available for councils to require upgrading of the existing parts of the building to meet the BCA, based on either fire safety or volume of work. This means for an existing building undergoing alterations and/or additions, that the new work must comply with the BCA and the existing parts of the building are subject to a discretion under which council may require upgrading only on the basis of a Fire Safety matter or development involving more than 50% of the building.

There are a few items within the building where compliance with the current provisions of the National Construction Code 2016 would not be met. It should be noted that whilst the building has non-compliances against the current provisions of the BCA, there is no formal requirement to immediately address any of these issues as this is an existing building. Should works be carried out that required DA approval or a CDC be issued it is likely that these items will be triggered. These are essentially relating to emergency lighting, exit lights and accessibility except where specifically detailed in the report.

3.5. Asbestos

While most states and territories introduced a ban on the manufacture, importation and installation of asbestos containing materials (ACMs) containing crocidolite and amosite asbestos from 31 December 1984, it was not until 31 December 2003 that a national ban on all uses of chrysotile asbestos came into effect.

Allow for an asbestos report to be updated annually to the property in line with current legislation in the event of any repairs and maintenance works. We note that many older substations have a number of asbestos containing materials as detailed in the reports.

A cost for annual updates however has not been included within our capex as these works are outside the scope of the services.

4. CAPEX and R&M Costings

4.1. CAPEX & R&M

The various defects and other shortcomings noted within this report are summarised on each individual capex sheet per property within the appendices.

Building Name	Costs (\$)			
	Immediate	Short	Medium	Long
Dapto Substation	\$160,920.00	\$446,014.00	\$600,674.00	\$633,938.00

The costs exclude GST, contractor preliminaries and profit margin and associated management and consultant fees.

The below is a brief summary of the split between categories:

Totals		\$	160,920.00	\$	446,014.00	\$	600,674.00	\$	633,938.00	\$	1,841,546.00
Total capex	CAP	\$	107,920	\$	300,946	\$	455,140	\$	475,040	\$	1,339,046
Total repairs and maintenance	R&M	\$	43,000	\$	125,068	\$	138,034	\$	158,898	\$	465,000
Total building code of Australia	BCA	\$	10,000	\$	20,000	\$	7,500	\$	-	\$	37,500
		\$	160,920.00	\$	446,014.00	\$	600,674.00	\$	633,938.00	\$	1,841,546.00
Priority											
Priority 1	1	\$	150,500	\$	27,000	\$	40,500	\$	67,500	\$	285,500
Priority 2	2	\$	9,920	\$	413,564	\$	385,238	\$	85,590	\$	894,312
Priority 3	3	\$	500	\$	4,950	\$	141,919	\$	31,663	\$	179,032
Priority 4	4	\$	-	\$	500	\$	33,017	\$	449,185	\$	482,702
		\$	160,920.00	\$	446,014.00	\$	600,674.00	\$	633,938.00	\$	1,841,546.00

Appendices

Appendix I: CAPEX Report

Condition Survey

The following priority grades are recommended in the context of a ten year planning period:

- Priority 1 - Urgent work that will prevent immediate closure of premises and / or address an immediate high risk to the health and safety of occupants and / or remedy a serious breach of legislation
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PREDICTED CAPEX & MAINTENANCE COSTS (\$) excl GST

ITEM NO	DESCRIPTION	CONDITION	REMEDIAL WORKS REQUIRED	CAP/ R&M	PRIORITY	Replacement Date & Cost				TOTAL BUDGET (excludes per annum)	Photo Ref
						Immediate (within 12 months)	Short (1-2 years)	Medium (3-5 years)	Long (6-10 years)		
Dapto 330/132kv Substation, Lot 5 Yallah Road, Yallah (nearest cross street, Princess Highway)											
1	Externals										
1.1	Roof										
1.1.1	Main Roof Coverings	Steel framed roof structure covered with profile metal sheeting.	In poor overall condition.	The roof sheets date back to original construction and are beyond life expectancy with evidence of local water ingress in sections. We would recommend replacement along with the roof in the reporting period with repairs in the short term.	CAP	2	\$ 5,000.00	\$ 218,750.00		\$ 223,750.00	
1.1.2	Soffits and Fascia	Painted timber fascia boards.	In poor overall condition.	Heavily soiled and aged timber fascia boards with peeling paintwork and sections of rotten timber. We would recommend medium term replacement of the soffit and fascia's as required.	CAP	3		\$ 9,000.00		\$ 9,000.00	
1.1.3	Soffits and Fascia	Painted timber fascia boards.	In poor overall condition.	Section of soffits appear to be asbestos. Allow additional cost to remove as part of the works.	CAP	3		\$ 2,000.00		\$ 2,000.00	
1.1.4	Soffits and Fascia	Metal clad fascia at roof change level.	In poor overall condition.	Metal fascia panels at roof level are aged and there is evidence of internal leaks. Allow for replacement as required in short term.	R&M	2	\$ 5,820.00			\$ 5,820.00	
1.1.5	Balconies	Timber decked balconies to the front elevation.	In fair overall condition.	Allow for repainting/varnishing as required in the reporting period.	R&M	3		\$ 3,500.00		\$ 3,500.00	

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PREDICTED CAPEX & MAINTENANCE COSTS (\$) excl GST

ITEM NO	DESCRIPTION	CONDITION	REMEDIAL WORKS REQUIRED	CAP/R&M	PRIORITY	Replacement Date & Cost				TOTAL BUDGET (excludes per annum)	Photo Ref	
						Immediate (within 12 months)	Short (1-2 years)	Medium (3-5 years)	Long (6-10 years)			
1.1.6 Roof Drainage												
1.1.6.1	Drainage	Metal eaves gutters draining to metal downpipes.	In fair to good overall condition.	Parts of the drainage appears to be modern with no major issues noted. We would however budget for replacement as part of any roof upgrade works as required.	CAP	4			inc.		\$ -	
1.1.6.2	Drainage	Metal eaves gutters draining to metal downpipes.	In poor overall condition.	Parts of the roof drainage date back to original construction and are beyond life expectancy . We would recommend replacement of the drainage as part of the roof works detailed above.	CAP	2			\$ 9,000.00		\$ 9,000.00	
1.1.6.3	Drainage	Metal eaves gutters draining to metal downpipes.	In poor to fair overall condition.	Allow for annual cleaning as required.	R&M	3	\$ 500.00	\$ 1,000.00	\$ 1,500.00	\$ 3,000.00	\$ 6,000.00	
1.1.6.4	Drainage	Cast iron drain and S&V pipes.	In poor overall condition.	Original cast iron drainage is performing but aged. Allow for replacement in the short to medium term.	CAP	2			\$ 10,000.00		\$ 10,000.00	
1.1.7 Roof Access												
1.1.7.1	Main Roof Access	No access provided.	N/A	Allow for roof access as part of elevation works.	CAP	2		\$ 10,000.00			\$ 10,000.00	
1.2 External Elevations												
1.2.1	Façades	2 storey fair faced brick elevations with painted concrete edge beams.	In fair overall condition.	Aged elevations and paintwork but no major structural issues noted. No major works required in the reporting period.	CAP	4					\$ -	

Condition Survey

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PREDICTED CAPEX & MAINTENANCE COSTS (\$) excl GST

ITEM NO	DESCRIPTION	CONDITION	REMEDIAL WORKS REQUIRED	CAP/R&M	PRIORITY	Replacement Date & Cost				TOTAL BUDGET (excludes per annum)	Photo Ref
						Immediate (within 12 months)	Short (1-2 years)	Medium (3-5 years)	Long (6-10 years)		
1.2.2	Façades 2 storey fair faced brick elevations with painted concrete edge beams.	In poor overall condition.	Local shrinkage cracking to sections of brickwork. Allow for brick stitching and mortar repair works as required.	R&M	2		\$ 10,000.00			\$ 10,000.00	
1.2.3	Façades 2 storey fair faced brick elevations with painted concrete edge beams.	In poor overall condition.	Brick slippage was noted in one location to the front left corner. Allow for local repairs in the short term as required.	R&M	2		\$ 8,000.00			\$ 8,000.00	
1.2.4	Façades 2 storey fair faced brick elevations with painted concrete edge beams.	In poor overall condition.	Section of missing brickwork. Allow for patch repairs in the short term.	R&M	2		\$ 2,000.00			\$ 2,000.00	
1.2.5	Façades 2 storey fair faced brick elevations with painted concrete edge beams.	In fair overall condition.	Allow for painting the concrete edge beams and parking soffits in the reporting period.	R&M	3			\$ 5,000.00		\$ 5,000.00	
1.2.6	Façades Asbestos fibreboard cladding panels to side elevation.	In poor to fair overall condition.	Aged facades. Allow to replace as part of window replacement works in the short term.	CAP	2		\$ 12,500.00			\$ 12,500.00	

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PREDICTED CAPEX & MAINTENANCE COSTS (\$) excl GST

ITEM NO	DESCRIPTION	CONDITION	REMEDIAL WORKS REQUIRED	CAP/R&M	PRIORITY	Replacement Date & Cost				TOTAL BUDGET (excludes per annum)	Photo Ref	
						Immediate (within 12 months)	Short (1-2 years)	Medium (3-5 years)	Long (6-10 years)			
1.2.7 Windows & Doors												
1.2.7.1	Windows	Metal framed single glazed windows.	In good overall condition.	Modern windows to part of the elevations. No CAP major works envisaged in the reporting period.		4					\$ -	
1.2.7.2	Windows	Timber framed single glazed windows.	In poor overall condition.	Aged timber windows with peeling paintwork and rotten cills etc. and beyond life expectancy. Allow for replacement as required in short term.	CAP	2	\$ 15,000.00				\$ 15,000.00	
1.2.7.3	Windows	Metal framed single glazed windows.	In poor overall condition.	Aged metal windows dating back to construction date and beyond life expectancy. Allow for replacement in the short term as required.	CAP	2		\$ 20,000.00			\$ 20,000.00	
1.2.7.4	Joinery - Doors	Timber access doors with paint finish.	In poor overall condition.	Heavily soiled and aged with faded finishes throughout. We would recommend long term replacement of the elevation doors.	CAP	4		\$ 15,000.00			\$ 15,000.00	
1.2.7.5	Joinery - Doors	Timber access doors with paint finish.	In poor overall condition.	Heavily soiled and aged with faded finishes throughout. We would recommend short term repainting of the elevation doors.	R&M	2	\$ 1,500.00				\$ 1,500.00	
1.2.7.6	Joinery - Doors	Metal roller shutter doors.	In poor to fair overall condition.	Aged roller doors dating back to construction date and beyond life expectancy. Allow for replacement in the medium term as required.	CAP	3		\$ 7,500.00			\$ 7,500.00	

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PREDICTED CAPEX & MAINTENANCE COSTS (\$) excl GST

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						Immediate (within 12 months)	Short (1-2 years)	Medium (3-5 years)	Long (6-10 years)		
1.2.7.7	Joinery - Doors	Metal framed access doors with powder coated finish.	In fair overall condition.	Aged entrance doors dating back to construction date and beyond life expectancy. Allow for replacement in the medium term as required.	CAP	4			\$ 3,500.00	\$ 3,500.00	
1.2.8 Fixtures & Fittings											
1.2.8.1	Fixtures & Fittings	Split System A/C units located to elevations.	In fair overall condition.	4 no. large Daikin R410 split units - performing as intended. Allow for long term capital replacement as required due to life cycle.	CAP	4			\$ 28,000.00	\$ 28,000.00	
1.2.8.2	Fixtures & Fittings	Split System A/C units located to elevations.	In fair overall condition.	4 no. small Daikin R410 split units - performing as intended. Allow for long term capital replacement as required due to life cycle.	CAP	2			\$ 12,000.00	\$ 12,000.00	
1.2.8.3	Fixtures & Fittings	Split System A/C units located to elevations.	In poor overall condition.	1 no. Mitsubishi large split unit R22 - Aged. Allow for short term capital replacement as required due to life cycle.	CAP	2	\$ 7,000.00			\$ 7,000.00	
1.2.8.4	Fixtures & Fittings	Split System A/C units located to elevations.	In poor overall condition.	Window mounted split units aged and beyond CAP life expectancy. Replace in short term.		2	\$ 6,000.00			\$ 6,000.00	

Condition Survey

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PREDICTED CAPEX & MAINTENANCE COSTS (\$) excl GST

ITEM NO	DESCRIPTION	CONDITION	REMEDIAL WORKS REQUIRED	CAP/R&M	PRIORITY	Replacement Date & Cost				TOTAL BUDGET (excludes per annum)	Photo Ref
						Immediate (within 12 months)	Short (1-2 years)	Medium (3-5 years)	Long (6-10 years)		
1.2.8.5	HVAC	Air cooled chillers located to first floor level.	In poor overall condition.	2 no. air cooled chiller units R22. Aged and would welcome replacement in reporting period.	CAP	2	\$ 50,000.00			\$ 50,000.00	
1.2.8.6	Fixtures & Fittings	Surface fixed spot light fittings.	In fair to good overall condition.	No major capital works envisaged in the reporting period.	CAP	4				\$ -	
1.2.8.7	Fixtures & Fittings	Surface fixed strip light fittings.	In fair to good overall condition.	Aged light fittings with T8 tubes. Allow for replacement of all lights as part of the refurbishment in the short to medium term.	CAP	3	\$ 2,500.00			\$ 2,500.00	
1.2.8.8	Fixtures & Fittings	Extract fans wall mounted.	In poor overall condition.	Aged large mechanical extract duct is beyond life expectancy. Allow for replacement as part of any main internal plant replacement works as required.	CAP	2	\$ 2,000.00			\$ 2,000.00	
1.2.8.9	Fixtures & Fittings	Extract fans wall mounted.	In fair overall condition.	Allow for long term upgrades	CAP	4			\$ 1,500.00	\$ 1,500.00	

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1.2.8.10	Fixtures & Fittings Extract fans window mounted.	In poor to fair overall condition.	Allow for long term upgrades	CAP	4				\$ 500.00	\$ 500.00	
1.2.8.11	Fixtures & Fittings Movement alarm sensor.	In good overall condition.	No major capital works envisaged in the reporting period.	CAP	4					\$ -	
1.2.8.12	Fixtures & Fittings Metal cable tray	In poor overall condition.	Heavy corrosion to cable tray. Replace in short term as required.	CAP	2		\$ 1,000.00			\$ 1,000.00	
1.2.8.13	Fixtures & Fittings Steel framed canopy to front elevation.	In poor to fair overall condition.	Minor corrosion noted to steel work. Allow to de-rust and treat as required in the medium term.	R&M	3			\$ 750.00		\$ 750.00	
1.3 External Areas											
1.3.1 External Surfaces											
1.3.1.1	Parking & Hardstand Reinforced concrete hardstands.	In fair overall condition.	Aged concrete hardstand with local cracking throughout. Allow for local repairs as required throughout the reporting period.	R&M	2		\$ 20,000.00	\$ 10,000.00	\$ 5,000.00	\$ 35,000.00	

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1.3.1.2	Hardstands within switchyard	Combination of tarmacadam and concrete surfaces.	In fair overall condition.	No major works envisaged in reporting period. Budget for local repairs as required in the reporting period.	CAP	4				\$ 5,000.00	\$ 5,000.00		
1.3.1.3	Access Roads within switchyard	On-grade tarmacadam road surfaces.	In fair overall condition.	No major works envisaged in reporting period. Budget for local repairs as required in the reporting period.	CAP	4				\$ 10,000.00	\$ 10,000.00		
1.3.1.4	Footpaths	Reinforced concrete hardstands.	In poor to fair overall condition.	Aged footpaths but still performing. Allow for local repairs and cleaning over the reporting period.	R&M	3				\$ 3,500.00	\$ 3,500.00		
1.3.1.5	Bollards	Painted concrete and metal bollards.	In poor to fair overall condition.	Allow for repainting as required in the short to R&M medium term.		3		\$ 250.00			\$ 250.00		
1.3.1.6	Access Road	On-grade tarmacadam road surfaces.	In fair overall condition.	Aged road with minor potholes. Allow for repairs to the potholes as required in the reporting period.	R&M	3				\$ 5,000.00	\$ -	\$ 5,000.00	

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1.3.1.7	Drainage Channels	Aco style iron drainage channels.	In poor overall condition.	Aged and rusted drainage Aco channels but still performing. Budget to replace in the long term.	CAP	4				\$ 2,275.00	\$ 2,275.00	
1.3.1.8	Fire escape stairs	Concrete fire exit stairs with metal handrails.	In poor overall condition.	Aged stairs with spoiled surfaces and handrails. Allow for repainting the handrails and installing none-slip tread edges to the steps.	R&M	2	\$ 3,000.00				\$ 3,000.00	
1.3.2 External Fencing												
1.3.2.1	Perimeter Fencing	Metal palisade fencing.	In fair overall condition.	Aged fencing but still performing with no major issues noted. Budget for local repairs in the long term.	R&M	4				\$ 30,000.00	\$ 30,000.00	
1.3.2.2	Switchyard internal Fencing	Metal post and chain wire fence.	In poor overall condition.	Aged fence with heavy corrosion in parts. Allow for replacement in the short term.	CAP	2	\$ 18,200.00				\$ 18,200.00	
1.3.2.3	Entry Gates	Mechanically operated sliding metal entry gate and control.	In good overall condition.	No major works envisaged in reporting period.	CAP	4				\$ -	\$ -	
1.3.2.4	Entry Gates	Mechanically operated sliding metal entry gate and control.	In fair to good overall condition.	The controls were not functioning at the time of inspection.	R&M	1	\$ 1,500.00				\$ 1,500.00	

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1.3.3 External Ancillary Buildings												
1.3.3.1	Sprinkler Control Room	Steel framed storage shed with metal profiled cladding (small).	In fair overall condition.	No major works envisaged in reporting period.	CAP	4					\$ -	
1.3.3.2	Water tanks	Circular concrete water storage tank.	In poor to fair overall condition.	Local hairline cracks from original construction. Allow to monitor and repair if water leaks occur. Budget for long term replacement.	CAP	4	\$ 500.00		\$ 20,000.00	\$ 20,500.00		
1.3.3.3	Water tanks	Below ground concrete storage tank.	N/A	No access. Allow for integrity testing as required.	R&M	1	\$ 5,000.00			\$ 5,000.00		
1.3.3.4	Storage Shed	Steel framed storage shed with metal profiled cladding (small).	In poor overall condition.	Aged storage shed with damaged cladding. Allow for long term replacement as required.	CAP	3			\$ 10,000.00	\$ 10,000.00		
1.3.3.5	Workshop Building - Externals	Steel framed storage shed with metal profiled cladding (small).	In poor to fair overall condition.	Aged workshop building with damaged and corroded cladding sheets. Allow to reclad in the medium term.	CAP	4		\$ 11,520.00		\$ 11,520.00		

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1.3.3.6	Workshop Building - Externals	Steel framed storage shed with metal profiled cladding (small).	In poor to fair overall condition.	Roof sheets are aged but still performing. Allow to reroof/clad in the long term. Include for de-rusting steel work as required.	CAP	4				\$ 8,000.00	\$ 8,000.00	
1.3.3.7	Workshop Building - Externals	Steel framed storage shed with metal profiled cladding (small).	In poor to fair overall condition.	Aged doors and roller doors. Allow to replace as part of the façade works.	CAP	3				\$ 10,000.00	\$ 10,000.00	
1.3.3.8	Workshop Building - Internals	Exposed concrete floor with painted assumed asbestos wall sheets and ceiling with surface mounted lights and metal sliding doors.	In poor overall condition.	Aged and dated surfaces throughout. Subject to future use allow to remove asbestos walls and ceilings and refurbish as part of the external works.	CAP	3				\$ 15,000.00	\$ 15,000.00	
1.3.3.9	Water Pump House Building - Externals	Single storey brick building with metal profiled roof sheets, timber doors & glazed windows and a roller shutter door.	In poor to fair overall condition.	Aged building dating back to construction date but still performing. Allow for an overhaul to the building to include windows, doors, windows and roof as required in the reporting period.	CAP	4				\$ 19,200.00	\$ 19,200.00	
1.3.3.10	Water Pump House Building - Internals	Exposed concrete floor with painted rendered walls and ceiling with surface mounted lights and metal and timber sliding doors and windows.	In poor to fair overall condition.	Aged building dating back to construction date but still performing. Allow for an overhaul to the building to include new paintwork to walls and ceiling and replace lights as required.	CAP	4				\$ 6,400.00	\$ 6,400.00	

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						Immediate (within 12 months)	Short (1-2 years)	Medium (3-5 years)	Long (6-10 years)			
1.3.3.11	Fuel farm	3 no. large cast iron oil containers housed in a self contained bunded fuel farm with perimeter fencing.	In poor to fair overall condition.	Undertake integrity test on tanks as required. R&M Budget for long term replacement of tanks as required.	R&M	2		\$ 5,000.00		\$ 22,500.00	\$ 27,500.00	
1.3.3.12	Fuel farm	3 no. large cast iron oil containers housed in a self contained bunded fuel farm with perimeter fencing.	In poor to fair overall condition.	Local cracking to bunded concrete. Allow for local repairs as required.	R&M	2		\$ 2,500.00			\$ 2,500.00	
1.3.3.13	Fuel farm	3 no. large cast iron oil containers housed in a self contained bunded fuel farm with perimeter fencing.	In poor to fair overall condition.	Budget for replacement of fence (if required) in the long term subject to requirement for fencing.	CAP	4				\$ 10,400.00	\$ 10,400.00	
1.3.3.14	Storage Shed - Fire no. 2	Steel framed pre fabricated storage shed.	In good overall condition.	No works envisaged in reporting period.	CAP	4					\$ -	
1.3.3.15	Large Storage Shed - Externals	Single storey steel framed storage shed with metal cladded walls and roof sheets with metal windows and roller doors.	In poor overall condition.	Aged building dating back to construction date but still performing. Allow for an overhaul to the building to include de-rusting of the steel frame, new facades, windows, doors and roofing as required in the reporting period.	CAP	4				\$ 95,200.00	\$ 95,200.00	

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1.3.3.16	Large Storage Shed - Internals	Concrete floor with exposed steel frame, metal cladded walls and roof sheets with metal windows and roller doors.	In poor overall condition.	No works envisaged in reporting period except for cleaning following external works.	CAP	4				inc.	\$ -	
1.3.3.17	Oil Pump House Building - Externals	Single storey brick building with metal profiled roof sheets, timber doors, metal glazed windows and a roller shutter door.	In poor to fair overall condition.	Aged building dating back to construction date but still performing. Allow for an overhaul to the building to include windows, doors, windows and roof as required in the reporting period.	CAP	4				\$ 35,100.00	\$ 35,100.00	
1.3.3.18	Oil Pump House Building - Internals	Exposed concrete floor with painted rendered walls and ceiling with surface mounted lights and metal and timber sliding doors and windows.	In poor to fair overall condition.	Aged building dating back to construction date but still performing. Allow for an overhaul to the building to include new paintwork to walls and ceiling and replace lights as required.	CAP	4				\$ 11,700.00	\$ 11,700.00	
1.3.3.19	Brick storage sheds x 2	Single storey brick building/shelter with metal roof sheets.	In poor to fair overall condition.	Aged buildings but still performing and adequate for use. No major works envisaged in reporting period.	CAP	4					\$ -	
1.3.3.20	415V LVAC Auxiliary Supply Building	Single Storey building with fair faced cavity brick external walls.	In poor to fair overall condition.	See separate report undertaken on building for details. Pricing taken from the report.	CAP	2	\$ 7,920.00	\$ 74,346.00	\$ 28,440.00	\$ 12,840.00	\$ 123,546.00	

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1.3.3.21	Relay Building - Externals	Steel framed storage shed with metal profiled cladding (large).	In good overall condition.	No major works envisaged in the reporting period.	CAP	4					\$ -	
1.3.3.22	Relay Building - Externals	Split System A/C units located to elevations.	In good overall condition.	2 no. large Temperzone R410A split units. Given the life expectancy allow for long term replacement.	CAP	4			\$ 14,000.00	\$ 14,000.00		
1.3.3.23	Relay Building - Externals	Metal stairs and handrails.	In good overall condition.	No major works envisaged in the reporting period.	CAP	4				\$ -		
1.3.3.24	Bunding	Bunded areas to transformers and switch yard equipment.	In fair overall condition.	Local cracking to concrete base and no liquid R&M applied waterproof membrane. Allow for local repairs and installation of new membrane as required.		1	\$ 20,000.00			\$ 20,000.00		
2 Internals												
Ground Floor												
2.1 Battery Room												
2.1.1	Ceilings	Painted concrete soffits.	In fair overall condition.	No major works envisaged in reporting period.	CAP	4				\$ -		
2.1.2	Ceilings	Painted concrete soffits.	In fair overall condition.	Allow for repainting in the short to medium term.	R&M	2	\$ 860.00			\$ 860.00		

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2.1.3	Walls	Painted rendered walls and partitions.	In fair overall condition.	No major works envisaged in reporting period.	CAP	4					\$ -	
2.1.4	Walls	Painted rendered walls and partitions.	In fair overall condition.	Allow for repainting in the short to medium term.	R&M	2		\$ 1,428.00			\$ 1,428.00	
2.1.5	Floors	Concrete floor with an epoxy painted membrane.	In poor overall condition.	Allow for repainting the floor with an epoxy waterproof membrane as required and include for bunded walls.	CAP	2		\$ 3,225.00			\$ 3,225.00	
2.1.6	Joinery- Doors	Timber access doors with paint finish.	In poor to fair overall condition.	Aged doors dating back to construction. Budget for long term replacement.	CAP	4			\$ 4,000.00		\$ 4,000.00	
2.1.7	Joinery- Doors	Timber access doors with paint finish.	In poor to fair overall condition.	Allow for repainting works in the short term.	R&M	2		\$ 300.00			\$ 300.00	
2.1.8	Lighting	Surface mounted strip lights.	In fair overall condition.	Not IP double rated. Replace as/ff required with IP rated lights.	CAP	2		\$ 2,100.00			\$ 2,100.00	
2.1.9	HVAC	Ducted air conditioning.	In poor to fair overall condition.	See external works	CAP	2					\$ -	

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2.1.10	Emergency shower and eyewash station	Small hose pipe provided but not compliant to modern standards.	In fair overall condition.	Install new emergency shower and eyewash station as required to meet current standards.	BCA	1	\$ 10,000.00				\$ 10,000.00	
2.1.11	Fixtures & Fittings	Timber floor mounted sink with lead topping and sink finish.	In poor overall condition.	Aged and beyond life expectancy. Replace as required.	CAP	2		\$ 5,000.00			\$ 5,000.00	
2.2 Store Room												
2.2.1	Ceilings	Painted concrete soffits.	In poor to fair overall condition.	No major works envisaged in reporting period.	CAP	4					\$ -	
2.2.2	Ceilings	Painted concrete soffits.	In poor to fair overall condition.	Allow for repainting in the short term.	R&M	2		\$ 1,080.00			\$ 1,080.00	
2.2.3	Ceilings	Steel beams supporting ceilings above.	In poor to fair overall condition.	Aged beams but still performing. Light corrosion occurring to a number of beams. Allow for local derusting and treating as required in the short term.	R&M	2		\$ 1,500.00			\$ 1,500.00	
2.2.4	Walls	Painted rendered walls and partitions.	In poor to fair overall condition.	No major works envisaged in reporting period.	CAP	4					\$ -	
2.2.5	Walls	Painted rendered walls and partitions.	In poor overall condition.	Peeling paintwork with map cracking in a number of locations. Allow for repainting in the short term.	R&M	2		\$ 1,530.00			\$ 1,530.00	

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PREDICTED CAPEX & MAINTENANCE COSTS (\$) excl GST

ITEM NO	DESCRIPTION	CONDITION	REMEDIAL WORKS REQUIRED	CAP/R&M	PRIORITY	Replacement Date & Cost				TOTAL BUDGET (excludes per annum)	Photo Ref
						Immediate (within 12 months)	Short (1-2 years)	Medium (3-5 years)	Long (6-10 years)		
2.2.6	Walls	Painted rendered walls and partitions.	In poor overall condition.	Local cracking to a number of the walls. Allow for local repairs as part of the repainting works.	R&M	2	\$ 750.00			\$ 750.00	
2.2.7	Walls	Tiled splashback walls.	In poor to fair overall condition.	Aged wall tiles but still performing. Allow for replacement as part of the sink unit works.	CAP	4			\$ 500.00	\$ 500.00	
2.2.8	Floors	Exposed concrete floor.	In poor to fair overall condition.	No major works envisaged in reporting period.	CAP	4				\$ -	
2.2.9	Floors	Concrete floor with vinyl floor tiles laid over.	In poor overall condition.	Asbestos floor tiles. Allow for removal and replacement in the reporting period.	CAP	2	\$ 1,375.00			\$ 1,375.00	
2.2.10	Joinery- Doors	Timber access doors with paint finish.	In poor to fair overall condition.	Aged doors dating back to construction. Budget for long term replacement.	CAP	4			\$ 2,000.00	\$ 2,000.00	
2.2.11	Joinery- Doors	Timber access doors with paint finish.	In poor to fair overall condition.	Allow for repainting works in the short term.	R&M	2	\$ 150.00			\$ 150.00	
2.2.12	Joinery- Doors	Roller shutter door - manual.	In poor to fair overall condition.	Aged door but still performing. Allow for replacement in the long term.	CAP	4			\$ 5,000.00	\$ 5,000.00	

Condition Survey

The following priority grades are recommended in the context of a ten year planning period:

- Priority 1 - Urgent work that will prevent immediate closure of premises and / or address an immediate high risk to the health and safety of occupants and / or remedy a serious breach of legislation
- Priority 2 - Essential work required within two to four years that will prevent serious deterioration of the fabric or services and / or address a medium risk to the health and safety of occupants and / or remedy a less serious breach of legislation
- Priority 3 - Desirable work required within five to seven years that will prevent deterioration of the fabric or services and / or address a medium risk to the health and safety of occupants and / or remedy a minor breach of legislation
- Priority 4 - Long term work required between eight to ten year planning period that will prevent deterioration of the fabric or services.

PREDICTED CAPEX & MAINTENANCE COSTS (\$) excl GST												
ITEM NO	DESCRIPTION	CONDITION	REMEDIAL WORKS REQUIRED	CAP/R&M	PRIORITY	Replacement Date & Cost				TOTAL BUDGET (excludes per annum)	Photo Ref	
						Immediate (within 12 months)	Short (1-2 years)	Medium (3-5 years)	Long (6-10 years)			
2.2.13	Windows	Metal framed single glazed windows.	In poor to fair overall condition.	See external works	CAP	2					\$ -	
2.2.14	Lighting	Surface mounted strip lights.	In fair overall condition.	Aged light fittings with flouro tubes. Allow for replacement of all lights as part of the refurbishment in the short to medium term.	CAP	2	\$ 1,750.00				\$ 1,750.00	
2.2.15	Fixtures & Fittings	Floor mounted kitchen bench with cupboards, drawers, worktop and stainless steel sink and tapware.	In poor to fair overall condition.	Aged unit but still operational. Budget for long term replacement as required.	CAP	4			\$ 5,000.00		\$ 5,000.00	
2.2.16	Distribution boards	Electrical distribution board(s).	In fair overall condition.	No major works envisaged in reporting period.	CAP	4					\$ -	
2.3 Battery Charger & Distribution Room No. 1												
2.3.1	Ceilings	Painted concrete soffits.	In poor to fair overall condition.	No major works envisaged in reporting period.	CAP	4					\$ -	
2.3.2	Ceilings	Painted concrete soffits.	In poor overall condition.	Peeling paintwork in a number of locations. Allow for repainting in the short term.	R&M	2	\$ 720.00				\$ 720.00	

Condition Survey

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- Priority 3 - Desirable work required within five to seven years that will prevent deterioration of the fabric or services and / or address a medium risk to the health and safety of occupants and / or remedy a minor breach of legislation
- Priority 4 - Long term work required between eight to ten year planning period that will prevent deterioration of the fabric or services.

PREDICTED CAPEX & MAINTENANCE COSTS (\$) excl GST

ITEM NO	DESCRIPTION	CONDITION	REMEDIAL WORKS REQUIRED	CAP/R&M	PRIORITY	Replacement Date & Cost				TOTAL BUDGET (excludes per annum)	Photo Ref	
						Immediate (within 12 months)	Short (1-2 years)	Medium (3-5 years)	Long (6-10 years)			
2.3.3	Walls	Painted rendered walls with coved skirting.	In poor to fair overall condition.	No major works envisaged in reporting period.	CAP	4					\$ -	
2.3.4	Walls	Painted rendered walls with coved skirting.	In poor overall condition.	Vinyl skirting is in poor condition and should be replaced in the short term.	CAP	2	\$ 960.00				\$ 960.00	
2.3.5	Walls	Painted rendered walls with coved skirting.	In poor to fair overall condition.	Allow for repainting in the short term.	R&M	2	\$ 1,224.00				\$ 1,224.00	
2.3.6	Floors	Concrete floor with vinyl floor tiles laid over.	In poor overall condition.	Asbestos floor tiles. Allow for removal and replacement in the reporting period.	CAP	2	\$ 3,600.00				\$ 3,600.00	
2.3.7	Joinery- Doors	Timber access doors with paint finish.	In poor to fair overall condition.	Aged doors dating back to construction. Budget for long term replacement.	CAP	4			\$ 2,000.00		\$ 2,000.00	
2.3.8	Joinery- Doors	Timber access doors with paint finish.	In poor to fair overall condition.	Allow for repainting works in the short term.	R&M	2	\$ 150.00				\$ 150.00	
2.3.9	Windows	Metal framed single glazed windows.	In poor to fair overall condition.	See external works	CAP	2					\$ -	

Condition Survey

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- Priority 4 - Long term work required between eight to ten year planning period that will prevent deterioration of the fabric or services.

PREDICTED CAPEX & MAINTENANCE COSTS (\$) excl GST

ITEM NO	DESCRIPTION	CONDITION	REMEDIAL WORKS REQUIRED	CAP/R&M	PRIORITY	Replacement Date & Cost			TOTAL BUDGET (excludes per annum)	Photo Ref
						Immediate (within 12 months)	Short (1-2 years)	Medium (3-5 years)		
2.3.10	Lighting	Surface mounted strip lights.	In fair overall condition.	Aged light fittings with fluoro tubes. Allow for replacement of all lights as part of the refurbishment in the short to medium term.	CAP	2	\$ 1,500.00		\$ 1,500.00	
2.4 Battery Charger & Distribution Room No. 2										
2.4.1	Ceilings	Painted concrete soffits.	In poor to fair overall condition.	No major works envisaged in reporting period.	CAP	4			\$ -	
2.4.2	Ceilings	Painted concrete soffits.	In poor overall condition.	Peeling paintwork in a number of locations. Allow for repainting in the short term.	R&M	2	\$ 300.00		\$ 300.00	
2.4.3	Walls	Painted rendered walls with coved skirting.	In poor to fair overall condition.	No major works envisaged in reporting period.	CAP	4			\$ -	
2.4.4	Walls	Painted rendered walls with coved skirting.	In poor overall condition.	Vinyl skirting is in poor condition and should be replaced in the short term.	CAP	2	\$ 640.00		\$ 640.00	
2.4.5	Walls	Painted rendered walls with coved skirting.	In poor to fair overall condition.	Allow for repainting in the short term.	R&M	2	\$ 816.00		\$ 816.00	
2.4.6	Floors	Concrete floor with vinyl floor tiles laid over.	In poor overall condition.	Asbestos floor tiles. Allow for removal and replacement in the reporting period.	CAP	2	\$ 2,400.00		\$ 2,400.00	
2.4.7	Joinery- Doors	Timber access doors with paint finish.	In poor to fair overall condition.	Aged doors dating back to construction. Budget for long term replacement.	CAP	4		\$ 2,000.00	\$ 2,000.00	
2.4.8	Joinery- Doors	Timber access doors with paint finish.	In poor to fair overall condition.	Allow for repainting works in the short term.	R&M	2	\$ 150.00		\$ 150.00	

Condition Survey

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- Priority 4 - Long term work required between eight to ten year planning period that will prevent deterioration of the fabric or services.

PREDICTED CAPEX & MAINTENANCE COSTS (\$) excl GST

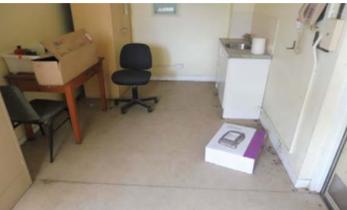
ITEM NO	DESCRIPTION	CONDITION	REMEDIAL WORKS REQUIRED	CAP/R&M	PRIORITY	Replacement Date & Cost				TOTAL BUDGET (excludes per annum)	Photo Ref	
						Immediate (within 12 months)	Short (1-2 years)	Medium (3-5 years)	Long (6-10 years)			
2.4.9	Windows	Metal framed single glazed windows.	In poor to fair overall condition.	See external works	CAP	2					\$ -	
2.4.10	Lighting	Surface mounted strip lights.	In fair overall condition.	Aged light fittings with flouro tubes. Allow for replacement of all lights as part of the refurbishment in the short to medium term.	CAP	2	\$ 750.00				\$ 750.00	
2.4.11	Extract fans	Mechanical extract fan wall mounted.	In fair overall condition.	Aged but still performing. Allow for medium term replacement works as required.	CAP	3		\$ 1,000.00			\$ 1,000.00	
2.5 Tea Room												
2.5.1	Ceilings	Painted concrete soffits.	In poor to fair overall condition.	No major works envisaged in reporting period.	CAP	4					\$ -	
2.5.2	Ceilings	Painted concrete soffits.	In poor to fair overall condition.	Allow for repainting in the short term.	R&M	2	\$ 300.00				\$ 300.00	
2.5.3	Walls	Painted rendered walls with timber skirting.	In poor to fair overall condition.	No major works envisaged in reporting period.	CAP	4					\$ -	
2.5.4	Walls	Painted rendered walls with timber skirting.	In fair overall condition.	Allow for repainting in the medium term.	R&M	3		\$ 1,122.00			\$ 1,122.00	

Condition Survey

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- Priority 4 - Long term work required between eight to ten year planning period that will prevent deterioration of the fabric or services.

PREDICTED CAPEX & MAINTENANCE COSTS (\$) excl GST

ITEM NO	DESCRIPTION	CONDITION	REMEDIAL WORKS REQUIRED	CAP/ R&M	PRIORITY	Replacement Date & Cost				TOTAL BUDGET (excludes per annum)	Photo Ref	
						Immediate (within 12 months)	Short (1-2 years)	Medium (3-5 years)	Long (6-10 years)			
2.5.5	Walls	Painted rendered walls with timber skirting.	In poor to fair overall condition.	Allow for long term replacement of the timber skirting.	CAP	4				\$ 600.00	\$ 600.00	
2.5.6	Floors	Concrete floor with vinyl sheet laid over.	In poor to fair overall condition.	Aged vinyl flooring. Allow for medium term replacement as required.	CAP	3		\$ 1,125.00	\$ 1,125.00	\$ 2,250.00	\$ 2,250.00	
2.5.7	Joinery- Doors	Timber access doors with paint finish.	In poor to fair overall condition.	Aged doors dating back to construction. Budget for long term replacement.	CAP	4			\$ 2,000.00	\$ 2,000.00	\$ 2,000.00	
2.5.8	Joinery- Doors	Timber access doors with paint finish.	In fair overall condition.	Allow for repainting works in the medium term.	R&M	3		\$ 150.00		\$ 150.00	\$ 150.00	
2.5.9	Windows	Metal framed single glazed windows.	In poor to fair overall condition.	See external works	CAP	2				\$ -	\$ -	
2.5.10	Lighting	Surface mounted strip lights.	In poor to fair overall condition.	Aged light fittings with fluoro tubes. Allow for replacement of all lights as part of the refurbishment in the short to medium term.	CAP	2	\$ 500.00			\$ 500.00	\$ 500.00	
2.5.11	Lighting	Surface mounted strip lights.	In poor to fair overall condition.	Damaged and missing light diffusers. Allow to overhaul lights as part of the above lighting upgrade works as required. No costs as new lights will omit this issue.	R&M	2	inc.			\$ -	\$ -	

Condition Survey

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PREDICTED CAPEX & MAINTENANCE COSTS (\$) excl GST

ITEM NO	DESCRIPTION	CONDITION	REMEDIAL WORKS REQUIRED	CAP/ R&M	PRIORITY	Replacement Date & Cost				TOTAL BUDGET (excludes per annum)	Photo Ref	
						Immediate (within 12 months)	Short (1-2 years)	Medium (3-5 years)	Long (6-10 years)			
2.5.12	HVAC	Split A/C unit window mounted.	In poor overall condition.	See external works	CAP	2						
2.5.13	Fixtures and Fittings	Floor mounted kitchen bench with cupboards, drawers, worktop and stainless steel sink and tapware.	In poor to fair overall condition.	Aged unit but still operational. Budget for long term replacement as required.	CAP	4			\$ 5,000.00	\$ 5,000.00		
2.6 Corridor												
2.6.1	Ceilings	Suspended plasterboard ceiling with paint finish.	In poor to fair overall condition.	No major works envisaged in reporting period.	CAP	4				\$ -		
2.6.2	Ceilings	Suspended plasterboard ceiling with paint finish.	In poor to fair overall condition.	Allow for repainting in the short to medium term.	R&M	3		\$ 480.00		\$ 480.00		
2.6.3	Walls	Painted rendered walls and partitions.	In poor to fair overall condition.	No major works envisaged in reporting period.	CAP	4				\$ -		
2.6.4	Walls	Painted rendered walls and partitions.	In poor to fair overall condition.	Allow for repainting in the short to medium term.	R&M	3		\$ 1,683.00		\$ 1,683.00		
2.6.5	Floors	Exposed concrete floor.	In poor to fair overall condition.	No major works envisaged in reporting period.	CAP	4			\$ -	\$ -		

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PREDICTED CAPEX & MAINTENANCE COSTS (\$) excl GST

ITEM NO	DESCRIPTION	CONDITION	REMEDIAL WORKS REQUIRED	CAP/R&M	PRIORITY	Replacement Date & Cost				TOTAL BUDGET (excludes per annum)	Photo Ref	
						Immediate (within 12 months)	Short (1-2 years)	Medium (3-5 years)	Long (6-10 years)			
2.6.6	Joinery- Doors	Timber access doors with paint finish.	In poor to fair overall condition.	Aged doors dating back to construction. Budget for long term replacement.	CAP	4				\$ 14,000.00	\$ 14,000.00	
2.6.7	Joinery- Doors	Timber access doors with paint finish.	In fair overall condition.	Allow for repainting works in the short to medium term.	R&M	3				\$ 1,050.00	\$ 1,050.00	
2.6.8	Lighting	Surface mounted strip lights.	In poor overall condition.	Aged light fittings with flouro tubes. Allow for replacement of all lights as part of the refurbishment in the short to medium term.	CAP	2	\$ 750.00				\$ 750.00	
2.7 Tool Store												
2.7.1	Ceilings	Suspended plasterboard ceiling with paint finish.	In fair overall condition.	No major works envisaged in reporting period.	CAP	4					\$ -	
2.7.2	Ceilings	Suspended plasterboard ceiling with paint finish.	In fair overall condition.	Allow for repainting in the medium term.	R&M	3				\$ 360.00	\$ 360.00	
2.7.3	Walls	Painted rendered walls and partitions.	In fair overall condition.	No major works envisaged in reporting period.	CAP	4					\$ -	
2.7.4	Walls	Painted rendered walls and partitions.	In fair overall condition.	Allow for repainting in the medium term.	R&M	3				\$ 918.00	\$ 918.00	
2.7.5	Floors	Concrete floor with vinyl sheet laid over.	In poor to fair overall condition.	Modern vinyl flooring but soiled and damaged in places. We would recommend medium term replacement as required.	CAP	3				\$ 1,350.00	\$ 1,350.00	

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ITEM NO	DESCRIPTION	CONDITION	REMEDIAL WORKS REQUIRED	CAP/R&M	PRIORITY	Replacement Date & Cost				TOTAL BUDGET (excludes per annum)	Photo Ref	
						Immediate (within 12 months)	Short (1-2 years)	Medium (3-5 years)	Long (6-10 years)			
2.7.6	Joinery- Doors	Timber access doors with paint finish.	In poor to fair overall condition.	Aged doors dating back to construction. Budget for long term replacement.	CAP	4				\$ 2,000.00	\$ 2,000.00	
2.7.7	Joinery- Doors	Timber access doors with paint finish.	In fair overall condition.	Allow for repainting works in the short to medium term.	R&M	3				\$ 150.00	\$ 150.00	
2.7.8	Joinery- Doors	Roller shutter door - manual.	In poor to fair overall condition.	Aged door but still performing. Allow for replacement in the long term.	CAP	4					\$ -	
2.7.9	Lighting	Surface mounted strip lights.	In fair overall condition.	Aged light fittings with flouro tubes. Allow for replacement of all lights as part of the refurbishment in the short to medium term.	CAP	2		\$ 1,500.00			\$ 1,500.00	
2.8 Cable Store												
2.8.1	Ceilings	Exposed concrete soffits.	In fair overall condition.	No major works envisaged in reporting period subject to future use.	CAP	4					\$ -	
2.8.2	Ceilings	Exposed concrete soffits.	In fair overall condition.	Core holes within soffit. Allow to seal as required.	R&M	2		\$ 1,500.00			\$ 1,500.00	
2.8.3	Ceilings	Steel beams supporting ceilings above.	In fair overall condition.	No major works envisaged in reporting period subject to future use.	CAP	4					\$ -	
2.8.4	Walls	Combination of exposed brick walls and partitions.	In fair overall condition.	No major works envisaged in reporting period.	CAP	4					\$ -	

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ITEM NO	DESCRIPTION	CONDITION	REMEDIAL WORKS REQUIRED	CAP/R&M	PRIORITY	Replacement Date & Cost				TOTAL BUDGET (excludes per annum)	Photo Ref	
						Immediate (within 12 months)	Short (1-2 years)	Medium (3-5 years)	Long (6-10 years)			
2.8.5	Walls	Combination of exposed brick walls and partitions.	In fair overall condition.	Allow for repainting the painted surfaces in the reporting period.	R&M	4				\$ 340.00	\$ 340.00	
2.8.6	Floors	Exposed concrete floor.	In fair to good overall condition.	No major works envisaged in reporting period subject to future use.	CAP	4				\$ -	\$ -	
2.8.7	Floors	Concrete floor with an epoxy painted membrane.	In fair to good overall condition.	Allow for repainting the banded floor areas as required in the long term subject to use of the store.	R&M	4				\$ 1,500.00	\$ 1,500.00	
2.8.8	Joinery- Doors	Timber access doors with paint finish.	In poor to fair overall condition.	Aged doors dating back to construction. Budget for long term replacement.	CAP	4				\$ 2,000.00	\$ 2,000.00	
2.8.9	Joinery- Doors	Timber access doors with paint finish.	In fair overall condition.	Allow for repainting works in the short to medium term.	R&M	3				\$ 150.00	\$ 150.00	
2.8.10	Joinery- Doors	Roller shutter door - manual.	In poor to fair overall condition.	Aged door but still performing. Allow for replacement in the long term.	CAP	4				\$ 5,000.00	\$ 5,000.00	
2.8.11	Windows	Metal framed single glazed windows.	In poor to fair overall condition.	See external works	CAP	2				\$ -	\$ -	
2.8.12	Lighting	Surface mounted strip lights.	In poor to fair overall condition.	Aged light fittings with fluoro tubes. Allow for replacement of all lights as part of the refurbishment in the short to medium term.	CAP	2		\$ 2,750.00		\$ 2,750.00	\$ 2,750.00	
2.9	MG Room											
2.9.1	Ceilings	Painted concrete soffits.	In poor to fair overall condition.	No major works envisaged in reporting period.	CAP	4				\$ -	\$ -	

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PREDICTED CAPEX & MAINTENANCE COSTS (\$) excl GST

ITEM NO	DESCRIPTION	CONDITION	REMEDIAL WORKS REQUIRED	CAP/R&M	PRIORITY	Replacement Date & Cost				TOTAL BUDGET (excludes per annum)	Photo Ref	
						Immediate (within 12 months)	Short (1-2 years)	Medium (3-5 years)	Long (6-10 years)			
2.9.2	Ceilings	Painted concrete soffits.	In poor to fair overall condition.	Allow for repainting in the short term.	R&M	2		\$ 600.00			\$ 600.00	
2.9.3	Ceilings	Exposed concrete soffits.	In fair overall condition.	Core holes within soffit. Allow to seal as required.	R&M	2		\$ 1,500.00			\$ 1,500.00	
2.9.4	Walls	Combination of exposed brick walls and partitions.	In fair overall condition.	No major works envisaged in reporting period.	CAP	4					\$ -	
2.9.5	Walls	Combination of exposed brick walls and partitions.	In fair overall condition.	Allow for repainting the painted surfaces in the reporting period.	R&M	4			\$ 1,122.00		\$ 1,122.00	
2.9.6	Floors	Exposed concrete floor.	In poor to fair overall condition.	No major works envisaged in reporting period.	CAP	4					\$ -	
2.9.7	Joinery- Doors	Timber access doors with paint finish.	In poor to fair overall condition.	Aged doors dating back to construction. Budget for long term replacement.	CAP	4				\$ 2,000.00	\$ 2,000.00	
2.9.8	Joinery- Doors	Timber access doors with paint finish.	In poor to fair overall condition.	Allow for repainting works in the short term.	R&M	2		\$ 150.00			\$ 150.00	
2.9.9	Joinery- Doors	Roller shutter door - manual.	In poor to fair overall condition.	Aged door but still performing. Allow for replacement in the long term.	CAP	4				\$ 5,000.00	\$ 5,000.00	

Condition Survey

The following priority grades are recommended in the context of a ten year planning period:

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PREDICTED CAPEX & MAINTENANCE COSTS (\$) excl GST

ITEM NO	DESCRIPTION	CONDITION	REMEDIAL WORKS REQUIRED	CAP/R&M	PRIORITY	Replacement Date & Cost				TOTAL BUDGET (excludes per annum)	Photo Ref	
						Immediate (within 12 months)	Short (1-2 years)	Medium (3-5 years)	Long (6-10 years)			
2.9.10	Lighting	Surface mounted strip lights.	In fair overall condition.	Aged light fittings with fluoro tubes. Allow for replacement of all lights as part of the refurbishment in the short to medium term.	CAP	2		\$ 500.00			\$ 500.00	
2.10 Store Room												
2.10.1	Ceilings	Painted concrete soffits.	In poor to fair overall condition.	No major works envisaged in reporting period.	CAP	4					\$ -	
2.10.2	Ceilings	Painted concrete soffits.	In poor overall condition.	Peeling paintwork in a number of locations. Allow for repainting in the short term.	R&M	2		\$ 620.00			\$ 620.00	
2.10.3	Walls	Painted rendered walls and partitions.	In poor to fair overall condition.	No major works envisaged in reporting period.	CAP	4					\$ -	
2.10.4	Walls	Painted rendered walls and partitions.	In poor to fair overall condition.	Allow for repainting in the short term as part of toilet modernisation works.	R&M	2		\$ 1,122.00			\$ 1,122.00	
2.10.5	Floors	Concrete floor with vinyl sheet laid over.	In poor overall condition.	Aged flooring nearing life expectancy. Allow for long term replacement as required.	CAP	4					\$ -	

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ITEM NO	DESCRIPTION	CONDITION	REMEDIAL WORKS REQUIRED	CAP/R&M	PRIORITY	Replacement Date & Cost				TOTAL BUDGET (excludes per annum)	Photo Ref
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2.10.6	Joinery- Doors	Timber access doors with paint finish.	In poor to fair overall condition.	Aged doors dating back to construction. Budget for long term replacement.	CAP	4			inc.	\$ -	
2.10.7	Joinery- Doors	Timber access doors with paint finish.	In poor to fair overall condition.	Allow for repainting works in the short term.	R&M	2	\$ 150.00			\$ 150.00	
2.10.8	Windows	Metal framed single glazed windows.	In poor to fair overall condition.	See external works	CAP	2				\$ -	
2.10.9	Lighting	Surface mounted strip lights.	In fair overall condition.	Aged light fittings with fluoro tubes. Allow for replacement of all lights as part of the refurbishment in the short to medium term.	CAP	2	\$ 1,000.00			\$ 1,000.00	
2.10.10	Extract fans	Mechanical extract fan wall mounted.	In poor overall condition.	Aged but still performing. Allow for medium term replacement works as required.	CAP	3		\$ 500.00		\$ 500.00	
2.11 AC Room											
2.11.1	Ceilings	Concrete soffit with sprayed vermiculite covering (assumed not asbestos).	In poor to fair overall condition.	No major works envisaged in reporting period.	CAP	4				\$ -	
2.11.2	Ceilings	Concrete soffit with sprayed vermiculite covering (assumed not asbestos).	In poor to fair overall condition.	Allow for testing for ACM.	R&M	2	\$ 500.00			\$ 500.00	
2.11.3	Ceilings	Steel beam with sprayed vermiculite covering (assumed not asbestos).	In fair overall condition.	No major works envisaged in reporting period.	CAP	4				\$ -	

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PREDICTED CAPEX & MAINTENANCE COSTS (\$) excl GST

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2.11.4	Walls	Painted rendered walls and partitions.	In poor to fair overall condition.	No major works envisaged in reporting period.	CAP	4					\$ -	
2.11.5	Walls	Painted rendered walls and partitions.	In poor to fair overall condition.	Allow for repainting in the short to medium term.	R&M	3		\$ 1,122.00			\$ 1,122.00	
2.11.6	Floors	Exposed concrete floor.	In poor to fair overall condition.	Heavily soiled floor. Allow for cleaning as required.	R&M	2	\$ 150.00				\$ 150.00	
2.11.7	Joinery- Doors	Timber access doors with paint finish.	In poor to fair overall condition.	Aged doors dating back to construction. Budget for long term replacement.	CAP	4			inc.		\$ -	
2.11.8	Joinery- Doors	Timber access doors with paint finish.	In fair overall condition.	Allow for repainting works in the short to medium term.	R&M	3		\$ 150.00			\$ 150.00	
2.11.9	Windows	Metal framed single glazed windows.	In poor to fair overall condition.	See external works	CAP	2	\$ -				\$ -	
2.11.10	Lighting	Surface mounted strip lights.	In poor to fair overall condition.	Aged light fittings with fluoro tubes. Allow for replacement of all lights as part of the refurbishment in the short to medium term.	CAP	2	\$ 1,250.00				\$ 1,250.00	
2.11.11	Fixtures and Fittings	Large A/C equipment and air handling units.	In poor overall condition.	A/C equipment was not working at the time of inspection. Allow for replacement in the short term as required.	CAP	1	\$ 100,000.00				\$ 100,000.00	
2.12	Corridor 2											
2.12.1	Ceilings	Painted concrete soffits.	In fair overall condition.	No major works envisaged in reporting period.	CAP	4					\$ -	

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2.12.2	Ceilings	Painted concrete soffits.	In fair overall condition.	Allow for repainting in the medium to long term.	R&M	3		\$ 100.00		\$ 100.00	
2.12.3	Walls	Combination of plaster painted walls and exposed brick walls with timber skirting.	In fair overall condition.	No major works envisaged in reporting period.	CAP	4				\$ -	
2.12.4	Walls	Combination of plaster painted walls and exposed brick walls with timber skirting.	In fair overall condition.	Allow for repainting in the medium to long term.	R&M	3		\$ 255.00		\$ 255.00	
2.12.5	Floors	Concrete floor with vinyl sheet laid over.	In fair overall condition.	Allow for long term replacement of the vinyl floor based on life cycle.	CAP	4			\$ 375.00	\$ 375.00	
2.12.6	Joinery- Doors	Timber access doors with paint finish.	In poor to fair overall condition.	Aged doors dating back to construction. Budget for long term replacement.	CAP	4			\$ 2,000.00	\$ 2,000.00	
2.12.7	Joinery- Doors	Timber access doors with paint finish.	In fair overall condition.	Allow for repainting works in the short to medium term.	R&M	3		\$ 150.00		\$ 150.00	
2.12.8	Lighting	Surface mounted strip lights.	In fair overall condition.	Aged light fittings with flouro tubes. Allow for replacement of all lights as part of the refurbishment in the short to medium term.	CAP	2	\$ 250.00			\$ 250.00	
2.13	Canteen/Kitchen										
2.13.1	Ceilings	Painted concrete soffits.	In fair overall condition.	No major works envisaged in reporting period.	CAP	4				\$ -	

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ITEM NO	DESCRIPTION	CONDITION	REMEDIAL WORKS REQUIRED	CAP/R&M	PRIORITY	Replacement Date & Cost			TOTAL BUDGET (excludes per annum)	Photo Ref
						Immediate (within 12 months)	Short (1-2 years)	Medium (3-5 years)		
2.13.2	Ceilings	Painted concrete soffits.	In fair overall condition.	Allow for repainting in the medium to long term.	R&M	3		\$ 980.00	\$ 980.00	
2.13.3	Ceilings	Painted steel beams supporting soffit.	In fair overall condition.	Allow for repainting in the medium to long term.	R&M	3		inc.	\$ -	
2.13.4	Walls	Combination of plaster painted walls and exposed brick walls with timber skirting.	In fair overall condition.	No major works envisaged in reporting period.	CAP	4			\$ -	
2.13.5	Walls	Combination of plaster painted walls and exposed brick walls with timber skirting.	In fair overall condition.	Allow for repainting in the medium to long term.	R&M	3		\$ 1,428.00	\$ 1,428.00	
2.13.6	Walls	Tiled splashback walls.	In poor to fair overall condition.	Aged wall tiles but still performing. Allow for replacement as part of the sink unit works.	CAP	4		\$ 500.00	\$ 500.00	
2.13.7	Floors	Concrete floor with vinyl sheet laid over.	In fair overall condition.	Allow for long term replacement of the vinyl floor based on life cycle.	CAP	4		\$ 3,675.00	\$ 3,675.00	

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2.13.8	Joinery- Doors	Timber access doors with paint finish.	In poor to fair overall condition.	Aged doors dating back to construction. Budget for long term replacement.	CAP	4				\$ 4,000.00	\$ 4,000.00	
2.13.9	Joinery- Doors	Timber access doors with paint finish.	In fair overall condition.	Allow for repainting works in the short to medium term.	R&M	3			\$ 300.00		\$ 300.00	
2.13.10	Joinery- Doors	Timber access doors with paint finish.	In poor overall condition.	Missing door handle. Replace as required.	R&M	1	\$ 500.00				\$ 500.00	
2.13.11	Joinery- Doors	Roller shutter door - manual.	In poor to fair overall condition.	Aged door but still performing. Allow for replacement in the long term.	CAP	4				\$ -	\$ -	
2.13.12	Windows	Metal framed single glazed windows.	In poor to fair overall condition.	See external works. Note asbestos panels marked.	CAP	2				\$ -	\$ -	
2.13.13	Lighting	Surface mounted strip lights.	In fair overall condition.	Aged light fittings with flouro tubes. Allow for replacement of all lights as part of the refurbishment in the short to medium term.	CAP	2	\$ 1,000.00				\$ 1,000.00	
2.13.14	Fixtures & Fittings	Floor mounted kitchen bench with cupboards, drawers, worktop and stainless steel sink and tapware.	In poor to fair overall condition.	Aged unit but still operational. Budget for long term replacement as required.	CAP	4				\$ 5,000.00	\$ 5,000.00	

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2.13.15	Fixtures & Fittings	Zip hot water heater.	In fair to good overall condition.	No major works envisaged in reporting period.	CAP	4					\$ -	
2.13.16	Fixtures & Fittings	Split A/C unit wall mounted.	In fair overall condition.	See external works.	CAP	2					\$ -	
2.14 Office												
2.14.1	Ceilings	Painted concrete soffits.	In fair overall condition.	No major works envisaged in reporting period.	CAP	4					\$ -	
2.14.2	Ceilings	Painted concrete soffits.	In fair overall condition.	Allow for repainting in the medium to long term.	R&M	3				\$ 280.00	\$ 280.00	
2.14.3	Walls	Combination of plaster painted walls and exposed brick walls with timber skirting.	In fair overall condition.	No major works envisaged in reporting period.	CAP	4					\$ -	
2.14.4	Walls	Combination of plaster painted walls and exposed brick walls with timber skirting.	In fair overall condition.	Allow for repainting in the medium to long term.	R&M	3				\$ 816.00	\$ 816.00	
2.14.5	Walls	Combination of plaster painted walls and exposed brick walls with timber skirting.	In poor to fair overall condition.	Map cracking to the rendered wall. Allow for hacking off and rendering as part of any decoration works.	R&M	3				\$ 2,000.00	\$ 2,000.00	

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2.14.6	Floors	Concrete floor with vinyl floor tiles laid over.	In fair overall condition.		4				\$ 1,050.00	\$ 1,050.00	
2.14.7	Joinery- Doors	Timber access doors with paint finish.	In poor to fair overall condition.	CAP	4				\$ 2,000.00	\$ 2,000.00	
2.14.8	Joinery- Doors	Timber access doors with paint finish.	In fair overall condition.	R&M	3			\$ 150.00		\$ 150.00	
2.14.9	Lighting	Surface mounted strip lights.	In fair overall condition.	CAP	2		\$ 500.00			\$ 500.00	
2.14.10	Fixtures & Fittings	Split A/C unit wall mounted.	In fair overall condition.	CAP	2					\$ -	
2.15	Toilet										
2.15.1	Ceilings	Suspended ceiling with exposed grid and lay-in tiles.	In fair overall condition.	CAP	4					\$ -	

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2.15.2	Ceilings	Suspended plasterboard ceiling with paint finish.	In poor to fair overall condition.	No major works envisaged in reporting period.	CAP	4					\$ -	
2.15.3	Ceilings	Suspended plasterboard ceiling with paint finish.	In poor to fair overall condition.	Allow for repainting in the short to medium term.	R&M	2			\$ 500.00		\$ 500.00	
2.15.4	Walls	Painted rendered walls with tiled skirting.	In poor to fair overall condition.	No major works envisaged in reporting period.	CAP	4					\$ -	
2.15.5	Walls	Painted rendered walls with tiled skirting.	In poor to fair overall condition.	Allow for repainting in the medium term as part of toilet modernisation works.	R&M	2			\$ 1,122.00		\$ 1,122.00	
2.15.6	Walls	Tiled splashback walls.	In poor to fair overall condition.	Aged and dates back to construction date. We would recommend modernisation works be carried out in the medium term.	R&M	2			\$ 5,060.00		\$ 5,060.00	
2.15.7	Floors	Concrete floor with ceramic tile floor covering.	In poor to fair overall condition.	Aged floor tiles that date back to construction. Allow for modernisation in the medium to long term.	CAP	4			\$ 1,875.00		\$ 1,875.00	
2.15.8	Joinery- Doors	Timber access doors with paint finish.	In poor to fair overall condition.	Aged doors dating back to construction. Budget for long term replacement.	CAP	4				\$ 2,000.00	\$ 2,000.00	
2.15.9	Joinery- Doors	Timber access doors with paint finish.	In fair overall condition.	Allow for repainting in the short to medium term.	R&M	2			\$ 150.00		\$ 150.00	
2.15.10	Windows	Metal framed single glazed windows.	In poor to fair overall condition.	See external works	CAP	2					\$ -	

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2.15.11	Lighting	Surface mounted strip lights.	In fair overall condition.	Aged light fittings with flouro tubes. Allow for replacement of all lights as part of the refurbishment in the short to medium term.	CAP	2		\$ 750.00			\$ 750.00	
2.15.12	Fixtures and Fittings	Vitreous china WHBs, WCs and shower units.	In poor to fair overall condition.	Aged and dates back to construction date. We would recommend modernisation works be carried out in the medium term.	CAP	2			\$ 11,000.00		\$ 11,000.00	
2.15.13	Fixtures and Fittings	Toilet Cubicles.	In poor to fair overall condition.	Aged and dates back to construction date. Allow for replacement as part of toilet modernisation works.	CAP	2			\$ 3,000.00		\$ 3,000.00	
2.15.14	Fixtures and Fittings	Cleaners Sink.	In poor to fair overall condition.	Aged and dates back to construction date. Allow for replacement as part of toilet modernisation works.	CAP	2			\$ 750.00		\$ 750.00	
2.15.15	Extract fans	Mechanical extract fan ceiling mounted.	In poor to fair overall condition.	Allow for upgrades as part of any toilet modernisation works as required.	CAP	2			\$ 500.00		\$ 500.00	

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2.16 Locker Room												
2.16.1	Ceilings	Painted concrete soffits.	In fair overall condition.	No major works envisaged in reporting period.	CAP	4					\$ -	
2.16.2	Ceilings	Painted concrete soffits.	In fair overall condition.	Allow for repainting in the medium term.	R&M	3			\$ 320.00		\$ 320.00	
2.16.3	Walls	Painted rendered walls with flush vinyl skirting.	In fair overall condition.	No major works envisaged in reporting period.	CAP	4			\$ -		\$ -	
2.16.4	Walls	Painted rendered walls with flush vinyl skirting.	In fair overall condition.	Allow for repainting in the medium to long term.	R&M	2			\$ 816.00		\$ 816.00	
2.16.5	Floors	Concrete floor with vinyl sheet laid over.	In fair overall condition.	Modern vinyl flooring but soiled and rippled in places. We would recommend long term replacement as required.	CAP	4			\$ 1,200.00		\$ 1,200.00	
2.16.6	Joinery- Doors	Timber access doors with paint finish.	In poor to fair overall condition.	Aged doors dating back to construction. Budget for long term replacement.	CAP	4			\$ 2,000.00		\$ 2,000.00	
2.16.7	Joinery- Doors	Timber access doors with paint finish.	In fair overall condition.	Allow for repainting works in the short term.	R&M	2			\$ 150.00		\$ 150.00	
2.16.8	Windows	Metal framed single glazed windows.	In poor to fair overall condition.	See external works	CAP	2					\$ -	

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ITEM NO	DESCRIPTION	CONDITION	REMEDIAL WORKS REQUIRED	CAP/R&M	PRIORITY	Replacement Date & Cost				TOTAL BUDGET (excludes per annum)	Photo Ref	
						Immediate (within 12 months)	Short (1-2 years)	Medium (3-5 years)	Long (6-10 years)			
2.16.9	Lighting	Surface mounted strip lights.	In fair overall condition.	Aged light fittings with flouro tubes. Allow for replacement of all lights as part of the refurbishment in the short to medium term.	CAP	2		\$ 500.00			\$ 500.00	
2.16.10	Fixtures and Fittings	Electric Hot Water tank.	In poor to fair overall condition.	Aged tank dating back to 1997. Allow for replacement in the short term or when it fails.	CAP	2		\$ 3,000.00			\$ 3,000.00	
2.16.11	Extract fans	Mechanical extract fan ceiling mounted.	In poor to fair overall condition.	Allow for upgrades as part of any toilet modernisation works as required.	CAP	2			\$ 2,500.00		\$ 2,500.00	
2.17 Main Entrance												
2.17.1	Ceilings	Painted concrete soffits.	In fair overall condition.	No major works envisaged in reporting period.	CAP	4					\$ -	
2.17.2	Ceilings	Painted concrete soffits.	In fair overall condition.	Allow for repainting in the medium term.	R&M	3			\$ 720.00		\$ 720.00	
2.17.3	Walls	Combination of painted rendered walls at high level with timber laminate wall cladding at low level.	In fair overall condition.	No major works envisaged in reporting period.	CAP	4					\$ -	
2.17.4	Walls	Combination of painted rendered walls at high level with timber laminate wall cladding at low level.	In fair overall condition.	Allow for repainting in the short to medium term.	R&M	3			\$ 1,224.00		\$ 1,224.00	

Condition Survey

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- Priority 4 - Long term work required between eight to ten year planning period that will prevent deterioration of the fabric or services.

PREDICTED CAPEX & MAINTENANCE COSTS (\$) excl GST

ITEM NO	DESCRIPTION	CONDITION	REMEDIAL WORKS REQUIRED	CAP/R&M	PRIORITY	Replacement Date & Cost				TOTAL BUDGET (excludes per annum)	Photo Ref	
						Immediate (within 12 months)	Short (1-2 years)	Medium (3-5 years)	Long (6-10 years)			
2.17.5	Walls	Combination of painted rendered walls at high level with timber laminate wall cladding at low level.	In fair overall condition.	Subject to use look to modernise the wall cladding as required.	CAP	4				\$ 1,800.00	\$ 1,800.00	
2.17.6	Floors & Stairs	Terrazzo floor finish.	In fair overall condition.	Dated floor but still performing. No works envisaged in reporting period. Works to include access stairs.	CAP	4				\$ -	\$ -	
2.17.7	Joinery- Doors	Timber access doors with paint finish.	In poor to fair overall condition.	Aged doors dating back to construction. Budget for long term replacement.	CAP	4				\$ 6,000.00	\$ 6,000.00	
2.17.8	Joinery- Doors	Timber access doors with paint finish.	In fair overall condition.	Allow for repainting works in the short to medium term.	R&M	3				\$ 450.00	\$ 450.00	
2.17.9	Lighting	Surface mounted strip lights.	In fair overall condition.	Aged light fittings with flouro tubes. Allow for replacement of all lights as part of the refurbishment in the short to medium term.	CAP	2		\$ 500.00			\$ 500.00	
2.18	Male WC											
2.18.1	Ceilings	Painted concrete soffits.	In fair to good overall condition.	No major works envisaged in reporting period.	CAP	4				\$ -	\$ -	
2.18.2	Ceilings	Painted concrete soffits.	In fair to good overall condition.	Allow for repainting in the long term.	R&M	4				\$ 80.00	\$ 80.00	

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PREDICTED CAPEX & MAINTENANCE COSTS (\$) excl GST

ITEM NO	DESCRIPTION	CONDITION	REMEDIAL WORKS REQUIRED	CAP/R&M	PRIORITY	Replacement Date & Cost				TOTAL BUDGET (excludes per annum)	Photo Ref	
						Immediate (within 12 months)	Short (1-2 years)	Medium (3-5 years)	Long (6-10 years)			
2.18.3	Walls	Tiled splashback walls.	In good overall condition.	Modernised toilets. No major works envisaged in reporting period.	CAP	4					\$ -	
2.18.4	Floors	Concrete floor with ceramic tile floor covering.	In good overall condition.	Modernised toilets. No major works envisaged in reporting period.	CAP	4					\$ -	
2.18.5	Joinery- Doors	Timber access doors with paint finish.	In poor to fair overall condition.	Aged doors dating back to construction. Budget for long term replacement.	CAP	4			inc.		\$ -	
2.18.6	Joinery- Doors	Timber access doors with paint finish.	In fair overall condition.	Allow for repainting in the long term.	R&M	2				\$ 150.00	\$ 150.00	
2.18.7	Windows	Metal framed single glazed windows.	In poor to fair overall condition.	See external works	CAP	2					\$ -	
2.18.8	Lighting	Surface mounted spot lights.	In fair overall condition.	Aged light fittings with T8 tubes. Allow for replacement of all lights as part of the refurbishment in the short to medium term.	CAP	2	\$ 500.00				\$ 500.00	
2.18.9	Fixtures and Fittings	Vitreous china WHBs and WCs.	In good overall condition.	Modernised toilets. No major works envisaged in reporting period.	CAP	4					\$ -	
2.18.10	Extract fans	Mechanical extract fan wall mounted.	N/A	Allow for installing mechanical extract ventilation as required.	CAP	2	\$ 500.00				\$ 500.00	

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PREDICTED CAPEX & MAINTENANCE COSTS (\$) excl GST

ITEM NO	DESCRIPTION	CONDITION	REMEDIAL WORKS REQUIRED	CAP/R&M	PRIORITY	Replacement Date & Cost				TOTAL BUDGET (excludes per annum)	Photo Ref	
						Immediate (within 12 months)	Short (1-2 years)	Medium (3-5 years)	Long (6-10 years)			
2.19 Female WC												
2.19.1	Ceilings	Suspended ceiling with exposed grid and lay-in tiles.	In fair overall condition.	No major works envisaged in reporting period.	CAP	4					\$ -	
2.19.2	Walls	Painted rendered walls and partitions.	In fair overall condition.	No major works envisaged in reporting period.	CAP	4					\$ -	
2.19.3	Walls	Painted rendered walls and partitions.	In fair overall condition.	Allow for repainting in the medium term.	R&M	3		\$ 80.00			\$ 80.00	
2.19.4	Walls	Tiled splashback walls.	In fair overall condition.	Dated finishes. Allow for modernisation works in the medium term.	CAP	3		\$ 440.00			\$ 440.00	
2.19.5	Floors	Concrete floor with ceramic tile floor covering.	In fair overall condition.	Dated finishes. Allow for modernisation works in the medium term.	CAP	3		\$ 440.00			\$ 440.00	
2.19.6	Joinery- Doors	Timber access doors with paint finish.	In poor to fair overall condition.	Aged doors dating back to construction. Budget for long term replacement.	CAP	4			inc.		\$ -	
2.19.7	Joinery- Doors	Timber access doors with paint finish.	In fair overall condition.	Allow for repainting in the medium term.	R&M	3		\$ 150.00			\$ 150.00	
2.19.8	Windows	Metal framed single glazed windows.	In poor to fair overall condition.	See external works	CAP	2	\$ -				\$ -	

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PREDICTED CAPEX & MAINTENANCE COSTS (\$) excl GST

ITEM NO	DESCRIPTION	CONDITION	REMEDIAL WORKS REQUIRED	CAP/R&M	PRIORITY	Replacement Date & Cost				TOTAL BUDGET (excludes per annum)	Photo Ref
						Immediate (within 12 months)	Short (1-2 years)	Medium (3-5 years)	Long (6-10 years)		
2.19.9	Lighting	Surface mounted strip lights.	In fair overall condition.	Aged light fittings with T8 tubes. Allow for replacement of all lights as part of the refurbishment in the short to medium term.	CAP	2	\$ 500.00			\$ 500.00	
2.19.10	Fixtures and Fittings	Vitreous china WHBs and WCs.	In fair overall condition.	Dated finishes. Allow for modernisation works in the medium term.	CAP	3		\$ 11,000.00		\$ 11,000.00	
2.19.11	Extract fans	Mechanical extract fan window mounted.	In fair overall condition.	Aged extract. Install new one as part of any modernisation works.	CAP	3		\$ 500.00		\$ 500.00	
First Floor											
2.20 Corridor											
2.20.1	Ceilings	Suspended plasterboard ceiling with paint finish.	In poor to fair overall condition.	No major works envisaged in reporting period.	CAP	4				\$ -	
2.20.2	Ceilings	Suspended plasterboard ceiling with paint finish.	In poor to fair overall condition.	Allow for repainting in the short to medium term.	R&M	2	\$ 560.00			\$ 560.00	

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PREDICTED CAPEX & MAINTENANCE COSTS (\$) excl GST

ITEM NO	DESCRIPTION	CONDITION	REMEDIAL WORKS REQUIRED	CAP/R&M	PRIORITY	Replacement Date & Cost				TOTAL BUDGET (excludes per annum)	Photo Ref	
						Immediate (within 12 months)	Short (1-2 years)	Medium (3-5 years)	Long (6-10 years)			
2.20.3	Walls	Painted rendered walls with timber skirting.	In poor to fair overall condition.	No major works envisaged in reporting period.	CAP	4					\$ -	
2.20.4	Walls	Painted rendered walls with timber skirting.	In poor to fair overall condition.	Allow for repainting in the short to medium term.	R&M	2	\$ 1,938.00				\$ 1,938.00	
2.20.5	Walls	Painted rendered walls with timber skirting.	In poor overall condition.	Water ingress noted at the wall/ceiling junction from poor roof flashing. Allow for internal repairs following roofing works detailed earlier.	R&M	2	\$ 2,500.00				\$ 2,500.00	
2.20.6	Walls	Painted rendered walls with timber skirting.	In poor overall condition.	Local cracking noted to the walls in locations. Allow for repairs as part of any decoration works.	R&M	2	\$ 3,500.00				\$ 3,500.00	
2.20.7	Floors	Concrete floor with carpet flooring.	In poor overall condition.	Aged carpet and worn in several areas. Allow for replacement as required in the short term.	CAP	2	\$ 2,100.00				\$ 2,100.00	
2.20.8	Joinery- Doors	Timber access doors with paint finish.	In poor to fair overall condition.	Aged doors dating back to construction. Budget for long term replacement.	CAP	4			\$ 16,000.00		\$ 16,000.00	
2.20.9	Joinery- Doors	Timber access doors with paint finish.	In fair overall condition.	Allow for repainting works in the short to medium term.	R&M	3	\$ 1,200.00				\$ 1,200.00	
2.20.10	Lighting	Recessed strip light fittings with diffusers.	In poor overall condition.	Aged light fittings with flouro tubes. Allow for replacement of all lights as part of the refurbishment in the short to medium term.	CAP	2	\$ 1,250.00				\$ 1,250.00	

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PREDICTED CAPEX & MAINTENANCE COSTS (\$) excl GST

ITEM NO	DESCRIPTION	CONDITION	REMEDIAL WORKS REQUIRED	CAP/R&M	PRIORITY	Replacement Date & Cost				TOTAL BUDGET (excludes per annum)	Photo Ref	
						Immediate (within 12 months)	Short (1-2 years)	Medium (3-5 years)	Long (6-10 years)			
2.20.11	Lighting	Surface mounted strip lights.	In poor overall condition.	Missing light diffusers. Works included in above upgrades.	R&M	2		inc.			\$ -	
2.21 Canteen/Kitchen												
2.21.1	Ceilings	Suspended ceiling with exposed grid and lay-in tiles.	In fair to good overall condition.	Modern ceiling tiles. No major works required in the reporting period.	CAP	3					\$ -	
2.21.2	Ceilings	Suspended plasterboard ceiling with paint finish.	In fair to good overall condition.	No major works envisaged in reporting period.	CAP	4					\$ -	
2.21.3	Ceilings	Suspended plasterboard ceiling with paint finish.	In fair to good overall condition.	Allow for repainting in the long term.	R&M	3			\$ 240.00	\$ 240.00		
2.21.4	Walls	Painted rendered walls with timber skirting.	In fair overall condition.	No major works envisaged in reporting period.	CAP	4				\$ -		
2.21.5	Walls	Painted rendered walls with timber skirting.	In fair overall condition.	Allow for repainting in the long term.	R&M	3			\$ 1,734.00	\$ 1,734.00		
2.21.6	Walls	Tiled splashback walls.	In good overall condition.	No major works envisaged in reporting period.	CAP	4				\$ -		

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PREDICTED CAPEX & MAINTENANCE COSTS (\$) excl GST

ITEM NO	DESCRIPTION	CONDITION	REMEDIAL WORKS REQUIRED	CAP/R&M	PRIORITY	Replacement Date & Cost				TOTAL BUDGET (excludes per annum)	Photo Ref	
						Immediate (within 12 months)	Short (1-2 years)	Medium (3-5 years)	Long (6-10 years)			
2.21.7	Floors	Concrete floor with vinyl floor tiles laid over.	In fair to good overall condition.	Modern vinyl flooring. We would recommend long term replacement as required.	CAP	4				\$ 5,250.00	\$ 5,250.00	
2.21.8	Joinery- Doors	Timber access doors with paint finish.	In fair overall condition.	Allow for repainting works in the medium term.	R&M	3				\$ 300.00	\$ 300.00	
2.21.9	Windows	Metal framed single glazed windows.	In poor to fair overall condition.	See external works	CAP	2				\$ -	\$ -	
2.21.10	Lighting	Recessed strip light fittings with diffusers.	In fair overall condition.	Aged light fittings with T8 tubes. Allow for replacement of all lights as part of the refurbishment in the short term.	CAP	2	\$ 1,000.00		\$ 1,000.00	\$ 2,000.00	\$ 2,000.00	
2.21.11	HVAC	Split A/C unit ceiling mounted.	In fair to good overall condition.	See external works	CAP	4			inc.	\$ -	\$ -	

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						Immediate (within 12 months)	Short (1-2 years)	Medium (3-5 years)	Long (6-10 years)			
2.21.12	Fixtures and Fittings	Floor mounted kitchen bench with cupboards, drawers, worktop and stainless steel sink and tapware.	In good overall condition.	No major works envisaged in reporting period.	CAP	4					\$ -	
2.22 Toilet & lockers												
2.22.1	Ceilings	Suspended plasterboard ceiling with paint finish.	In fair to good overall condition.	No major works envisaged in reporting period.	CAP	4					\$ -	
2.22.2	Ceilings	Suspended plasterboard ceiling with paint finish.	In fair to good overall condition.	Allow for repainting in the long term.	R&M	4			\$ 240.00	\$ 240.00		
2.22.3	Walls	Painted rendered walls with timber skirting.	In fair overall condition.	No major works envisaged in reporting period.	CAP	4					\$ -	
2.22.4	Walls	Painted rendered walls with timber skirting.	In fair overall condition.	Allow for repainting in the long term.	R&M	3			\$ 714.00	\$ 714.00		
2.22.5	Walls	Tiled splashback walls.	In good overall condition.	Modernised toilets. No major works envisaged in reporting period.	CAP	4					\$ -	
2.22.6	Floors	Concrete floor with vinyl floor tiles laid over.	In fair to good overall condition.	Modern vinyl flooring. We would recommend long term replacement as required.	CAP	4					\$ -	

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						Immediate (within 12 months)	Short (1-2 years)	Medium (3-5 years)	Long (6-10 years)			
2.22.7	Floors	Concrete floor with ceramic tile floor covering.	In good overall condition.	Modernised toilets. No major works envisaged in reporting period.	CAP	4					\$ -	
2.22.8	Joinery- Doors	Timber access doors with paint finish.	In fair overall condition.	Allow for repainting in the long term.	R&M	2			\$ 150.00	\$ 150.00		
2.22.9	Windows	Metal framed single glazed windows.	In poor to fair overall condition.	See external works	CAP	2				\$ -		
2.22.10	Lighting	Surface mounted spot lights & recessed strip lights.	In fair overall condition.	Aged light fittings with T8 tubes. Allow for replacement of all lights as part of the refurbishment in the short to medium term.	CAP	2	\$ 500.00			\$ 500.00		
2.22.11	Fixtures and Fittings	Vitreous china WHBs, WCs, urinals and shower units.	In good overall condition.	Modernised toilets. No major works envisaged in reporting period.	CAP	4				\$ -		
2.22.12	Extract fans	Mechanical extract fan window mounted.	In fair overall condition.	No major works envisaged in reporting period.	CAP	4				\$ -		

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						Immediate (within 12 months)	Short (1-2 years)	Medium (3-5 years)	Long (6-10 years)			
2.22.13	Fixtures and Fittings	Electric Hot Water tank.	In fair overall condition.	Tank dates back to 2010. Allow for replacement in the long term or when it fails.	CAP	4				\$ 3,500.00	\$ 3,500.00	
2.23 Comms Room												
2.23.1	Ceilings	Suspended ceiling with aged exposed fibre tiles.	In poor overall condition.	Allow for replacement ceiling tiles and grid in the reporting period.	CAP	3				\$ 10,800.00	\$ 10,800.00	
2.23.2	Ceilings	Suspended ceiling with aged exposed fibre tiles.	In poor overall condition.	Missing sections of ceiling tiles. Allow for replacement of missing tiles in short term.	R&M	2		\$ 500.00		\$ 500.00	\$ 500.00	
2.23.3	Walls	Painted rendered walls with coved skirting.	In poor overall condition.	No major works envisaged in reporting period.	CAP	4				\$ -	\$ -	
2.23.4	Walls	Painted rendered walls with coved skirting.	In poor overall condition.	Allow for repainting in the medium term.	R&M	3		\$ 2,754.00		\$ 2,754.00	\$ 2,754.00	
2.23.5	Floors	Concrete floor with vinyl floor tiles laid over.	In poor overall condition.	Allow for replacing the vinyl floor tiles in the reporting period.	CAP	3			\$ 13,500.00	\$ 13,500.00	\$ 13,500.00	
2.23.6	Floors	Concrete floor with vinyl floor tiles laid over.	In poor overall condition.	Asbestos floor tiles. Allow for removal and replacement in the reporting period.	CAP	2			\$ 3,600.00	\$ 3,600.00	\$ 3,600.00	

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						Immediate (within 12 months)	Short (1-2 years)	Medium (3-5 years)	Long (6-10 years)			
2.23.7	Joinery- Doors	Timber access doors with paint finish.	In poor to fair overall condition.	Aged doors dating back to construction. Budget for long term replacement.	CAP	4				\$ 2,000.00	\$ 2,000.00	
2.23.8	Joinery- Doors	Timber access doors with paint finish.	In poor to fair overall condition.	Allow for repainting works in the medium term.	R&M	3				\$ 150.00	\$ 150.00	
2.23.9	Windows	Metal framed single glazed windows.	In poor to fair overall condition.	See external works	CAP	2					\$ -	
2.23.10	Lighting	Surface mounted strip lights.	In poor overall condition.	Aged light fittings with flouro tubes. Allow for replacement of all lights as part of the refurbishment in the short to medium term.	CAP	2		\$ 5,750.00			\$ 5,750.00	
2.23.11	HVAC	Split A/C unit wall mounted.	In fair to good overall condition.	See external works	CAP	4			inc.		\$ -	
2.23.12	HVAC	Ducted air conditioning.	In fair overall condition.	See previous notes on A/C and AHU.	CAP	1	inc.				\$ -	

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- Priority 2 - Essential work required within two to four years that will prevent serious deterioration of the fabric or services and / or address a medium risk to the health and safety of occupants and / or remedy a less serious breach of legislation
- Priority 3 - Desirable work required within five to seven years that will prevent deterioration of the fabric or services and / or address a medium risk to the health and safety of occupants and / or remedy a minor breach of legislation
- Priority 4 - Long term work required between eight to ten year planning period that will prevent deterioration of the fabric or services.

PREDICTED CAPEX & MAINTENANCE COSTS (\$) excl GST

ITEM NO	DESCRIPTION	CONDITION	REMEDIAL WORKS REQUIRED	CAP/R&M	PRIORITY	Replacement Date & Cost				TOTAL BUDGET (excludes per annum)	Photo Ref
						Immediate (within 12 months)	Short (1-2 years)	Medium (3-5 years)	Long (6-10 years)		
2.23.13	Fixtures & Fittings	Electrical distribution board(s).	In poor overall condition.	2 no. Aged DB boards with no RCD. Allow to replace in short term as required.	CAP	2	\$ 6,000.00			\$ 6,000.00	
2.24 Relay room											
2.24.1	Ceilings	Suspended plasterboard ceiling with paint finish.	In fair to good overall condition.	No major works envisaged in reporting period.	CAP	4				\$ -	
2.24.2	Ceilings	Suspended plasterboard ceiling with paint finish.	In fair to good overall condition.	Allow for repainting in the medium to long term.	R&M	3				\$ -	
2.24.3	Walls	Painted rendered walls with coved skirting.	In fair overall condition.	No major works envisaged in reporting period.	CAP	4				\$ -	
2.24.4	Walls	Painted rendered walls with coved skirting.	In fair overall condition.	Allow for repainting in the medium to long term.	R&M	3		\$ 2,958.00		\$ 2,958.00	
2.24.5	Walls	Painted rendered walls with coved skirting.	In fair overall condition.	Local cracking to walls in 2 locations. Allow for local repairs as required.	R&M	2	\$ 1,500.00			\$ 1,500.00	
2.24.6	Floors	Concrete floor with vinyl sheet laid over.	In fair to good overall condition.	Modern vinyl flooring but soiled and damaged in places. We would recommend long term replacement as required.	CAP	4			\$ 15,300.00	\$ 15,300.00	

Condition Survey

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PREDICTED CAPEX & MAINTENANCE COSTS (\$) excl GST

ITEM NO	DESCRIPTION	CONDITION	REMEDIAL WORKS REQUIRED	CAP/ R&M	PRIORITY	Replacement Date & Cost				TOTAL BUDGET (excludes per annum)	Photo Ref	
						Immediate (within 12 months)	Short (1-2 years)	Medium (3-5 years)	Long (6-10 years)			
2.24.7	Joinery- Doors	Timber access doors with paint finish.	In poor to fair overall condition.	Aged doors dating back to construction. Budget for long term replacement.	CAP	4				\$ 12,000.00	\$ 12,000.00	
2.24.8	Joinery- Doors	Timber access doors with paint finish.	In fair overall condition.	Allow for repainting works in the short to medium term.	R&M	3				\$ 900.00	\$ 900.00	
2.24.9	Windows	Metal framed single glazed windows.	In poor to fair overall condition.	See external works	CAP	2					\$ -	
2.24.10	Windows Blinds	Metal framed windows with windows blinds	In poor to fair overall condition.	Allow to replace window blinds as part of the external window upgrade works.	CAP	2				\$ 1,000.00	\$ 1,000.00	
2.24.11	Lighting	Surface mounted strip lights.	In poor overall condition.	Aged light fittings with flouro tubes. Allow for replacement of all lights as part of the refurbishment in the short to medium term.	CAP	2		\$ 6,500.00			\$ 6,500.00	
2.24.12	HVAC	Split A/C unit wall mounted.	In poor to fair overall condition.	See external works	CAP	2			inc.		\$ -	

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PREDICTED CAPEX & MAINTENANCE COSTS (\$) excl GST

ITEM NO	DESCRIPTION	CONDITION	REMEDIAL WORKS REQUIRED	CAP/R&M	PRIORITY	Replacement Date & Cost				TOTAL BUDGET (excludes per annum)	Photo Ref
						Immediate (within 12 months)	Short (1-2 years)	Medium (3-5 years)	Long (6-10 years)		
2.24.13	Fixtures & Fittings	Electrical distribution board(s).	In poor overall condition.	Aged DB boards with no RCD. Allow to replace in short term as required.	CAP	2	\$ 15,000.00			\$ 15,000.00	
2.25 Adjacent Store/ Workshop											
2.25.1	Ceilings	Suspended ceiling with exposed grid and lay-in tiles.	In fair overall condition.	Aged ceiling tiles. Allow for replacement in the long term.	R&M	3				\$ -	
2.25.2	Walls	Painted rendered walls with coved skirting.	In fair overall condition.	No major works envisaged in reporting period.	CAP	4				\$ -	
2.25.3	Walls	Painted rendered walls with coved skirting.	In fair overall condition.	Allow for repainting in the short to medium term.	R&M	3		\$ 1,836.00		\$ 1,836.00	
2.25.4	Walls	Painted rendered walls with coved skirting.	In fair overall condition.	Local cracking to walls in a number of locations. Allow for local repairs as required.	R&M	2	\$ 2,500.00			\$ 2,500.00	
2.25.5	Walls	Painted rendered walls with coved skirting.	In poor overall condition.	Section of missing blockwork. Repair as required.	R&M	2	\$ 750.00			\$ 750.00	
2.25.6	Floors	Raised Access floor with modular tiles.	In fair overall condition.	No major works envisaged in reporting period.	CAP	4				\$ -	
2.25.7	Joinery- Doors	Timber access doors with paint finish.	In poor to fair overall condition.	Aged doors dating back to construction. Budget for long term replacement.	CAP	4			inc.	\$ -	

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						Immediate (within 12 months)	Short (1-2 years)	Medium (3-5 years)	Long (6-10 years)		
2.25.8	Joinery- Doors	Timber access doors with paint finish.	In fair overall condition.	Allow for repainting works in the short to medium term.	R&M	3		\$ 150.00		\$ 150.00	
2.25.9	Windows	Metal framed single glazed windows.	In poor to fair overall condition.	See external works	CAP	2				\$ -	
2.25.10	Lighting	Recessed strip light fittings with diffusers.	In fair overall condition.	Aged light fittings with flouro tubes. Allow for replacement of all lights as part of the refurbishment in the short to medium term.	CAP	2	\$ 3,750.00			\$ 3,750.00	
2.25.11	HVAC	Ducted air conditioning.	In fair overall condition.	See previous notes on A/C and AHU.	CAP	1	inc.			\$ -	
2.25.12	Fixtures & Fittings	Floor mounted kitchen bench with cupboards, drawers, worktop and stainless steel sink and tapware.	In fair to good overall condition.	No major works envisaged in reporting period.	CAP	4					
2.25.13	Fixtures & Fittings	Electric Hot Water tank.	In fair to good overall condition.	No major works envisaged in reporting period.	CAP	4					

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ITEM NO	DESCRIPTION	CONDITION	REMEDIAL WORKS REQUIRED	CAP/R&M	PRIORITY	Replacement Date & Cost				TOTAL BUDGET (excludes per annum)	Photo Ref	
						Immediate (within 12 months)	Short (1-2 years)	Medium (3-5 years)	Long (6-10 years)			
2.26	Large office											
2.26.1	Ceilings	Suspended ceiling with exposed grid and lay-in tiles.	In poor overall condition.	Aged ceilings throughout. Allow for modernisation works as required.	R&M	2					\$ -	
2.26.2	Walls	Painted rendered walls with ducted skirting.	In fair overall condition.	No major works envisaged in reporting period.	CAP	4					\$ -	
2.26.3	Walls	Painted rendered walls with ducted skirting.	In fair overall condition.	Allow for repainting in the short to medium term.	R&M	3		\$ 3,468.00			\$ 3,468.00	
2.26.4	Walls	Painted rendered walls with ducted skirting.	In fair overall condition.	Local cracking to walls in a number of locations. Allow for local repairs as required.	R&M	2		\$ 2,500.00			\$ 2,500.00	
2.26.5	Floors	Concrete floor with carpet flooring.	In poor to fair overall condition.	Aged flooring throughout. Allow for modernisation works as required.	R&M	2			\$ 11,850.00		\$ 11,850.00	
2.26.6	Joinery- Doors	Timber access doors with paint finish.	In poor to fair overall condition.	Aged doors dating back to construction. Budget for long term replacement.	CAP	4			\$ 6,000.00		\$ 6,000.00	
2.26.7	Joinery- Doors	Timber access doors with paint finish.	In fair overall condition.	Allow for repainting works in the short to medium term.	R&M	3		\$ 450.00			\$ 450.00	

Condition Survey

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ITEM NO	DESCRIPTION	CONDITION	REMEDIAL WORKS REQUIRED	CAP/R&M	PRIORITY	Replacement Date & Cost				TOTAL BUDGET (excludes per annum)	Photo Ref	
						Immediate (within 12 months)	Short (1-2 years)	Medium (3-5 years)	Long (6-10 years)			
2.26.8	Windows	Metal framed single glazed windows.	In poor to fair overall condition.	See external works	CAP	2					\$ -	
2.26.9	Windows Blinds	Metal framed windows with windows blinds	In poor to fair overall condition.	Allow to replace window blinds as part of the external window upgrade works.	CAP	2			\$ 800.00	\$ 800.00		
2.26.10	Lighting	Recessed strip light fittings with diffusers.	In fair overall condition.	Aged light fittings with flouro tubes. Allow for replacement of all lights as part of the refurbishment in the short to medium term.	CAP	2	\$ 12,500.00			\$ 12,500.00		
2.26.11	HVAC	Ducted air conditioning.	In fair overall condition.	See previous notes on A/C and AHU.	CAP	1	inc.			\$ -		
2.27 Conference Room												
2.27.1	Ceilings	Suspended plasterboard ceiling with paint finish.	In fair overall condition.	No major works envisaged in reporting period.	CAP	4				\$ -		
2.27.2	Ceilings	Suspended plasterboard ceiling with paint finish.	In fair overall condition.	Allow for repainting in the short to medium term.	R&M	3				\$ -		
2.27.3	Walls	Painted rendered walls with timber and ducted skirting.	In fair overall condition.	No major works envisaged in reporting period.	CAP	4				\$ -		

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						Immediate (within 12 months)	Short (1-2 years)	Medium (3-5 years)	Long (6-10 years)		
2.27.4	Walls	Painted rendered walls with timber and ducted skirting.	In fair overall condition.	Allow for repainting in the short to medium term.	R&M	3		\$ 765.00		\$ 765.00	
2.27.5	Floors	Concrete floor with carpet flooring.	In poor to fair overall condition.	Aged flooring throughout. Allow for modernisation works as required.	R&M	2			\$ 975.00	\$ 975.00	
2.27.6	Joinery- Doors	Timber access doors with paint finish.	In poor to fair overall condition.	Aged doors dating back to construction. Budget for long term replacement.	CAP	4			inc.	\$ -	
2.27.7	Joinery- Doors	Timber access doors with paint finish.	In fair overall condition.	Allow for repainting works in the short to medium term.	R&M	3		\$ 150.00		\$ 150.00	
2.27.8	Windows	Metal framed single glazed windows.	In poor to fair overall condition.	See external works	CAP	2				\$ -	
2.27.9	Windows Blinds	Metal framed windows with windows blinds	In poor to fair overall condition.	Allow to replace window blinds as part of the external window upgrade works.	CAP	2			\$ 200.00	\$ 200.00	
2.27.10	Lighting	Surface mounted strip lights.	In fair overall condition.	Aged light fittings with fluoro tubes. Allow for replacement of all lights as part of the refurbishment in the short to medium term.	CAP	2		\$ 750.00		\$ 750.00	
2.27.11	HVAC	Ducted air conditioning.	In fair overall condition.	See previous notes on A/C and AHU.	CAP	1			inc.	\$ -	
2.28	Small Office 1										
2.28.1	Ceilings	Suspended plasterboard ceiling with paint finish.	In fair overall condition.	No major works envisaged in reporting period.	CAP	4				\$ -	

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2.28.2	Ceilings	Suspended plasterboard ceiling with paint finish.	In fair overall condition.	Allow for repainting in the short to medium term.	R&M	3					\$ -	
2.28.3	Walls	Painted rendered walls with timber and ducted skirting.	In fair overall condition.	No major works envisaged in reporting period.	CAP	4					\$ -	
2.28.4	Walls	Painted rendered walls with timber and ducted skirting.	In fair overall condition.	Allow for repainting in the short to medium term.	R&M	3			\$ 765.00		\$ 765.00	
2.28.5	Floors	Concrete floor with carpet flooring.	In poor to fair overall condition.	Aged flooring throughout. Allow for modernisation works as required.	R&M	2			\$ 975.00		\$ 975.00	
2.28.6	Joinery- Doors	Timber access doors with paint finish.	In poor to fair overall condition.	Aged doors dating back to construction. Budget for long term replacement.	CAP	4			inc.		\$ -	
2.28.7	Joinery- Doors	Timber access doors with paint finish.	In fair overall condition.	Allow for repainting works in the short to medium term.	R&M	3			\$ 150.00		\$ 150.00	
2.28.8	Windows	Metal framed single glazed windows.	In poor to fair overall condition.	See external works	CAP	2					\$ -	
2.28.9	Windows Blinds	Metal framed windows with windows blinds	In poor to fair overall condition.	Allow to replace window blinds as part of the external window upgrade works.	CAP	2			\$ 200.00		\$ 200.00	
2.28.10	Lighting	Surface mounted strip lights.	In fair overall condition.	Aged light fittings with flouro tubes. Allow for replacement of all lights as part of the refurbishment in the short to medium term.	CAP	2		\$ 750.00			\$ 750.00	

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2.28.11	HVAC	Ducted air conditioning.	In fair overall condition.	See previous notes on A/C and AHU.	CAP	1	inc.									
2.29 Small Office 2																
2.29.1	Ceilings	Suspended plasterboard ceiling with paint finish.	In fair overall condition.	No major works envisaged in reporting period.	CAP	4										
2.29.2	Ceilings	Suspended plasterboard ceiling with paint finish.	In fair overall condition.	Allow for repainting in the short to medium term.	R&M	3										
2.29.3	Walls	Painted rendered walls with timber and ducted skirting.	In fair overall condition.	No major works envisaged in reporting period.	CAP	4										
2.29.4	Walls	Painted rendered walls with timber and ducted skirting.	In fair overall condition.	Allow for repainting in the short to medium term.	R&M	3			\$ 765.00							
2.29.5	Floors	Concrete floor with carpet flooring.	In poor to fair overall condition.	Aged flooring throughout. Allow for modernisation works as required.	R&M	2				\$ 975.00						
2.29.6	Joinery- Doors	Timber access doors with paint finish.	In poor to fair overall condition.	Aged doors dating back to construction. Budget for long term replacement.	CAP	4										
2.29.7	Joinery- Doors	Timber access doors with paint finish.	In fair overall condition.	Allow for repainting works in the short to medium term.	R&M	3			\$ 150.00							
2.29.8	Windows	Metal framed single glazed windows.	In poor to fair overall condition.	See external works	CAP	2										
2.29.9	Windows Blinds	Metal framed windows with windows blinds	In poor to fair overall condition.	Allow to replace window blinds as part of the external window upgrade works.	CAP	2				\$ 200.00						

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2.29.10	Lighting	Surface mounted strip lights.	In fair overall condition.	Aged light fittings with flouro tubes. Allow for replacement of all lights as part of the refurbishment in the short to medium term.	CAP	2	\$ 750.00			\$ 750.00	
2.29.11	HVAC	Ducted air conditioning.	In fair overall condition.	See previous notes on A/C and AHU.	CAP	1	inc.			\$ -	
2.30 Small Office 3											
2.30.1	Ceilings	Suspended plasterboard ceiling with paint finish.	In fair overall condition.	No major works envisaged in reporting period.	CAP	4				\$ -	
2.30.2	Ceilings	Suspended plasterboard ceiling with paint finish.	In fair overall condition.	Allow for repainting in the short to medium term.	R&M	3				\$ -	
2.30.3	Walls	Painted rendered walls with timber and ducted skirting.	In fair overall condition.	No major works envisaged in reporting period.	CAP	4				\$ -	
2.30.4	Walls	Painted rendered walls with timber and ducted skirting.	In fair overall condition.	Allow for repainting in the short to medium term.	R&M	3	\$ 765.00			\$ 765.00	
2.30.5	Floors	Concrete floor with carpet flooring.	In poor to fair overall condition.	Aged flooring throughout. Allow for modernisation works as required.	R&M	2			\$ 975.00	\$ 975.00	
2.30.6	Joinery- Doors	Timber access doors with paint finish.	In poor to fair overall condition.	Aged doors dating back to construction. Budget for long term replacement.	CAP	4			inc.	\$ -	

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						Immediate (within 12 months)	Short (1-2 years)	Medium (3-5 years)	Long (6-10 years)		
2.30.7	Joinery- Doors	Timber access doors with paint finish.	In fair overall condition.	Allow for repainting works in the short to medium term.	R&M	3		\$ 150.00		\$ 150.00	
2.30.8	Windows	Metal framed single glazed windows.	In poor to fair overall condition.	See external works	CAP	2				\$ -	
2.30.9	Windows Blinds	Metal framed windows with windows blinds	In poor to fair overall condition.	Allow to replace window blinds as part of the external window upgrade works.	CAP	2			\$ 200.00	\$ 200.00	
2.30.10	Lighting	Recessed strip light fittings with diffusers.	In fair overall condition.	Aged light fittings with flouro tubes. Allow for replacement of all lights as part of the refurbishment in the short to medium term.	CAP	2		\$ 750.00		\$ 750.00	
2.30.11	HVAC	Ducted air conditioning.	In fair overall condition.	See previous notes on A/C and AHU.	CAP	1	inc.			\$ -	
2.31	External Relay Room										
2.31.1	Ceilings	Metal profiled roof/soffit sheets	In good overall condition.	No major works envisaged in the reporting period.	CAP	4				\$ -	
2.31.2	Walls	Metal profiled wall sheets	In good overall condition.	No major works envisaged in the reporting period.	CAP	4				\$ -	

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- Priority 3 - Desirable work required within five to seven years that will prevent deterioration of the fabric or services and / or address a medium risk to the health and safety of occupants and / or remedy a minor breach of legislation
- Priority 4 - Long term work required between eight to ten year planning period that will prevent deterioration of the fabric or services.

PREDICTED CAPEX & MAINTENANCE COSTS (\$) excl GST

ITEM NO	DESCRIPTION	CONDITION	REMEDIAL WORKS REQUIRED	CAP/R&M	PRIORITY	Replacement Date & Cost				TOTAL BUDGET (excludes per annum)	Photo Ref	
						Immediate (within 12 months)	Short (1-2 years)	Medium (3-5 years)	Long (6-10 years)			
2.31.3	Floors	Sheet vinyl flooring on suspended concrete floor.	In good overall condition.	No major works envisaged in the reporting period.	CAP	4					\$ -	
2.31.4	Joinery- Doors	Metal framed access doors with powder coated finish.	In good overall condition.	No major works envisaged in the reporting period.	CAP	4					\$ -	
2.31.5	Lighting	Surface mounted strip lights.	In good overall condition.	Modern light fittings with T5 tubes. No major works required.	CAP	4					\$ -	
2.31.6	Lighting	PIR movement sensors.	In good overall condition.	No major works envisaged in the reporting period.	CAP	4					\$ -	
2.31.7	HVAC	Split A/C unit ceiling mounted.	In good overall condition.	Allow for long term replacement due to life cycle of asset. See external works.	CAP	4					\$ -	
2.31.8	Distribution boards	Electrical distribution board(s).	In good overall condition.	No major works envisaged in the reporting period.	CAP	4					\$ -	

Condition Survey

The following priority grades are recommended in the context of a ten year planning period:

- Priority 1 - Urgent work that will prevent immediate closure of premises and / or address an immediate high risk to the health and safety of occupants and / or remedy a serious breach of legislation
- Priority 2 - Essential work required within two to four years that will prevent serious deterioration of the fabric or services and / or address a medium risk to the health and safety of occupants and / or remedy a less serious breach of legislation
- Priority 3 - Desirable work required within five to seven years that will prevent deterioration of the fabric or services and / or address a medium risk to the health and safety of occupants and / or remedy a minor breach of legislation
- Priority 4 - Long term work required between eight to ten year planning period that will prevent deterioration of the fabric or services.

PREDICTED CAPEX & MAINTENANCE COSTS (\$) excl GST												
ITEM NO	DESCRIPTION	CONDITION	REMEDIAL WORKS REQUIRED	CAP/R&M	PRIORITY	Replacement Date & Cost				TOTAL BUDGET (excludes per annum)	Photo Ref	
						Immediate (within 12 months)	Short (1-2 years)	Medium (3-5 years)	Long (6-10 years)			
2.31.9	Fire Control Panel	Digital Fire Control Panel Digital	In good overall condition.	No major works envisaged in the reporting period.	CAP	4					\$ -	
2.31.10	Fixtures & Fittings	CCTV with cameras externally and internally mounted.	In good overall condition.	Given the life expectancy allow for long term replacement.	CAP	4					\$ -	
2.31.11	VESDA/Gas suppression system	VESDA system installed.	In good overall condition.	No major works envisaged in the reporting period.	CAP	4					\$ -	
3	Plant & Equipment Generally											
3.1	Building Services Generally	Access control system and sensors.	In fair overall condition.	We don't envisage any major replacement works in the reporting period. Maintain annually.	R&M	2	\$ 2,000.00	\$ 4,000.00	\$ 6,000.00	\$ 10,000.00	\$ 22,000.00	
3.2	Building Services Generally	Annual Fire Safety Statement including testing and tagging.	N/A	Undertake annual fire safety statement as required.	R&M	1	\$ 2,000.00	\$ 4,000.00	\$ 6,000.00	\$ 10,000.00	\$ 22,000.00	
3.3	Building Services Generally	General fire systems throughout the building.	In fair overall condition.	Aged systems dating back to construction but still performing. We don't envisage any major replacement works in the reporting period. Maintain annually.	R&M	1	\$ 3,500.00	\$ 7,000.00	\$ 10,500.00	\$ 17,500.00	\$ 38,500.00	

Condition Survey

The following priority grades are recommended in the context of a ten year planning period:

- Priority 1 - Urgent work that will prevent immediate closure of premises and / or address an immediate high risk to the health and safety of occupants and / or remedy a serious breach of legislation
- Priority 2 - Essential work required within two to four years that will prevent serious deterioration of the fabric or services and / or address a medium risk to the health and safety of occupants and / or remedy a less serious breach of legislation
- Priority 3 - Desirable work required within five to seven years that will prevent deterioration of the fabric or services and / or address a medium risk to the health and safety of occupants and / or remedy a minor breach of legislation
- Priority 4 - Long term work required between eight to ten year planning period that will prevent deterioration of the fabric or services.

PREDICTED CAPEX & MAINTENANCE COSTS (\$) excl GST

ITEM NO	DESCRIPTION	CONDITION	REMEDIAL WORKS REQUIRED	CAP/R&M	PRIORITY	Replacement Date & Cost				TOTAL BUDGET (excludes per annum)	Photo Ref	
						Immediate (within 12 months)	Short (1-2 years)	Medium (3-5 years)	Long (6-10 years)			
3.4	Building Services Generally	Fire hydrant booster pump and equipment.	In fair overall condition.	Aged systems dating back to construction but still performing. We don't envisage any major replacement works in the reporting period. Maintain annually.	R&M	1	inc.	inc.	inc.	inc.	\$ -	
3.5	Building Services Generally	Fire indicator panel - Analogue	In poor overall condition.	Allow for upgrading to Digital as required.	CAP	2					\$ -	
3.6	Building Services Generally	Sprinkler system throughout building.	In fair overall condition.	Allow for statutory testing as required.	R&M	1	\$ 2,000.00	\$ 4,000.00	\$ 6,000.00	\$ 10,000.00	\$ 22,000.00	
3.7	Building Services Generally	VESDA system.	In good overall condition.	Allow for statutory testing and tagging as required.	R&M	1	\$ 2,000.00	\$ 4,000.00	\$ 6,000.00	\$ 10,000.00	\$ 22,000.00	
3.8	Building Services Generally	Smoke detection and alarm system	In fair to good overall condition.	No major works envisaged in the reporting period. Maintain as required.	R&M	1	\$ 2,000.00	\$ 4,000.00	\$ 6,000.00	\$ 10,000.00	\$ 22,000.00	

Condition Survey

The following priority grades are recommended in the context of a ten year planning period:

- Priority 1 - Urgent work that will prevent immediate closure of premises and / or address an immediate high risk to the health and safety of occupants and / or remedy a serious breach of legislation
- Priority 2 - Essential work required within two to four years that will prevent serious deterioration of the fabric or services and / or address a medium risk to the health and safety of occupants and / or remedy a less serious breach of legislation
- Priority 3 - Desirable work required within five to seven years that will prevent deterioration of the fabric or services and / or address a medium risk to the health and safety of occupants and / or remedy a minor breach of legislation
- Priority 4 - Long term work required between eight to ten year planning period that will prevent deterioration of the fabric or services.

PREDICTED CAPEX & MAINTENANCE COSTS (\$) excl GST

ITEM NO	DESCRIPTION	CONDITION	REMEDIAL WORKS REQUIRED	CAP/ R&M	PRIORITY	Replacement Date & Cost				TOTAL BUDGET (excludes per annum)	Photo Ref	
						Immediate (within 12 months)	Short (1-2 years)	Medium (3-5 years)	Long (6-10 years)			
3.9	Building Services Generally	Fire extinguishers and fire hose reels within the building.	In fair overall condition.	Allow for statutory testing as required.	R&M	1	inc.	inc.	inc.	inc.	\$ -	
3.10	Building Services Generally	Hot water is supplied from the domestic hot water unit.	In fair to good overall condition.	See above.	CAP	2				inc.	\$ -	
3.11	Building Services Generally	Pipework and pumps.	In fair overall condition.	Aged systems dating back to construction but still performing. We don't envisage any major replacement works in the reporting period. Maintain annually.	R&M	3			\$ 20,000.00		\$ 20,000.00	
3.12	Building Services Generally	Fire exit signs and directional signs.	In poor overall condition.	Aged. Allow for upgrades and installation in the reporting period as required.	BCA	2		\$ 20,000.00			\$ 20,000.00	
3.13	Building Services Generally	Emergency Exit lights.	In poor overall condition.	Aged. Replace exit lights as required.	BCA	2		\$ 7,500.00			\$ 7,500.00	
3.14	Building Services Generally	Fire Hydrants site wide.	In fair overall condition.	Allow for repainting and testing and tagging as required.	R&M	1	\$ 2,000.00	\$ 4,000.00	\$ 6,000.00	\$ 10,000.00	\$ 22,000.00	
3.15	Building Services Generally	Mains Distribution board and switchboards.	In poor overall condition.	See above.	CAP	2		inc.			\$ -	

Condition Survey

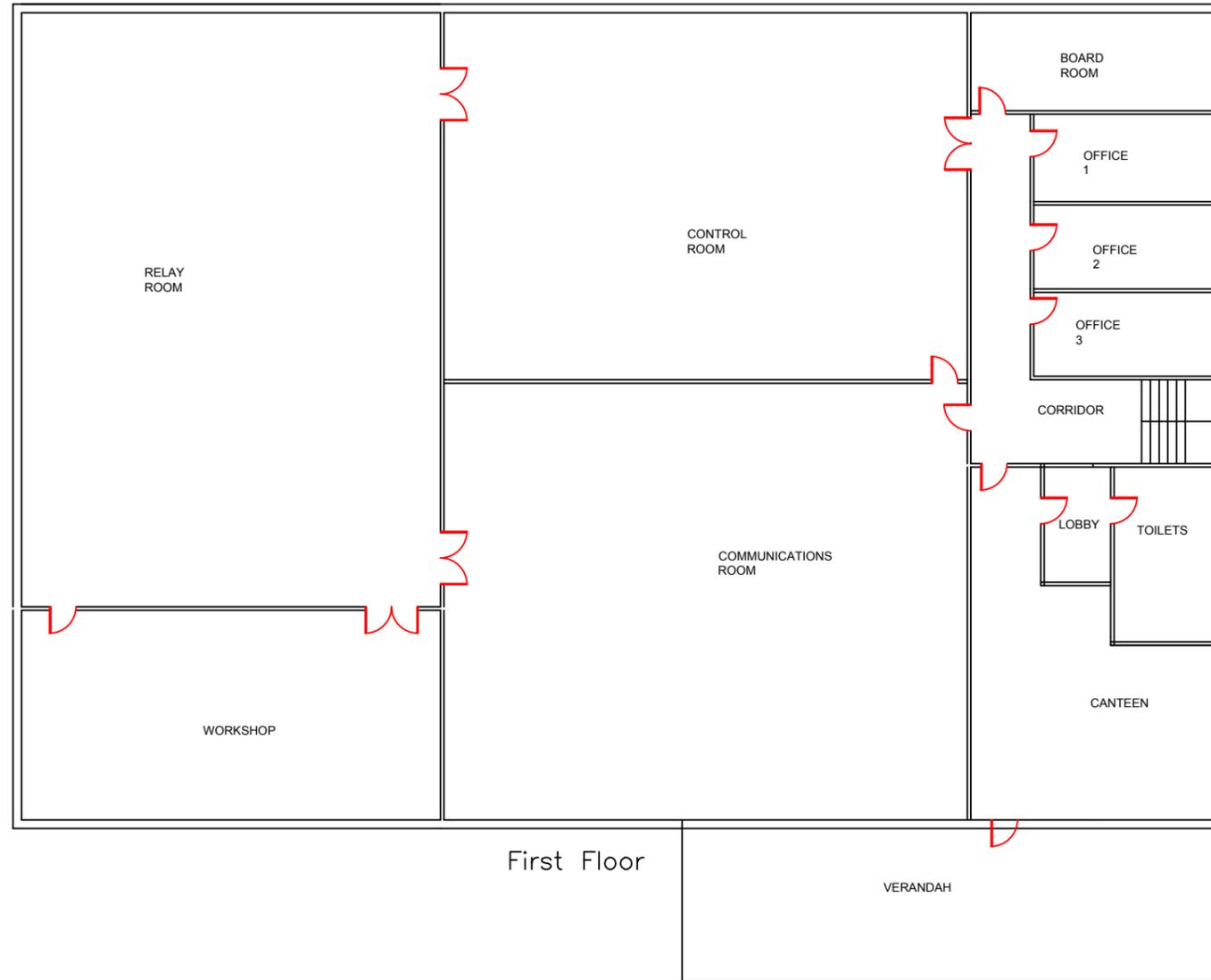
The following priority grades are recommended in the context of a ten year planning period:

- Priority 1 - Urgent work that will prevent immediate closure of premises and / or address an immediate high risk to the health and safety of occupants and / or remedy a serious breach of legislation
- Priority 2 - Essential work required within two to four years that will prevent serious deterioration of the fabric or services and / or address a medium risk to the health and safety of occupants and / or remedy a less serious breach of legislation
- Priority 3 - Desirable work required within five to seven years that will prevent deterioration of the fabric or services and / or address a medium risk to the health and safety of occupants and / or remedy a minor breach of legislation
- Priority 4 - Long term work required between eight to ten year planning period that will prevent deterioration of the fabric or services.

PREDICTED CAPEX & MAINTENANCE COSTS (\$) excl GST

ITEM NO	DESCRIPTION	CONDITION	REMEDIAL WORKS REQUIRED	CAP/ R&M	PRIORITY	Replacement Date & Cost				TOTAL BUDGET (excludes per annum)	Photo Ref	
						Immediate (within 12 months)	Short (1-2 years)	Medium (3-5 years)	Long (6-10 years)			
3.16	Building Services Generally	Dated power and lighting sockets throughout.	In poor overall condition.	Allow for a full rewire to the building including new light switches and power sockets.	CAP	2				\$ 50,000.00	\$ 50,000.00	
Totals							\$ 160,920.00	\$ 446,014.00	\$ 600,674.00	\$ 633,938.00	\$ 1,841,546.00	
				Total capex	CAP		\$ 107,920	\$ 300,946	\$ 455,140	\$ 475,040	\$ 1,339,046	
				Total repairs and maintenance	R&M		\$ 43,000	\$ 125,068	\$ 138,034	\$ 158,898	\$ 465,000	
				Total building code of Australia	BCA		\$ 10,000	\$ 20,000	\$ 7,500	\$ -	\$ 37,500	
							\$ 160,920.00	\$ 446,014.00	\$ 600,674.00	\$ 633,938.00	\$ 1,841,546.00	
Priority												
				Priority 1		1	\$ 150,500	\$ 27,000	\$ 40,500	\$ 67,500	\$ 285,500	
				Priority 2		2	\$ 9,920	\$ 413,564	\$ 385,238	\$ 85,590	\$ 894,312	
				Priority 3		3	\$ 500	\$ 4,950	\$ 141,919	\$ 31,663	\$ 179,032	
				Priority 4		4	\$ -	\$ 500	\$ 33,017	\$ 449,185	\$ 482,702	
							\$ 160,920.00	\$ 446,014.00	\$ 600,674.00	\$ 633,938.00	\$ 1,841,546.00	

Appendix II: Floor Plans



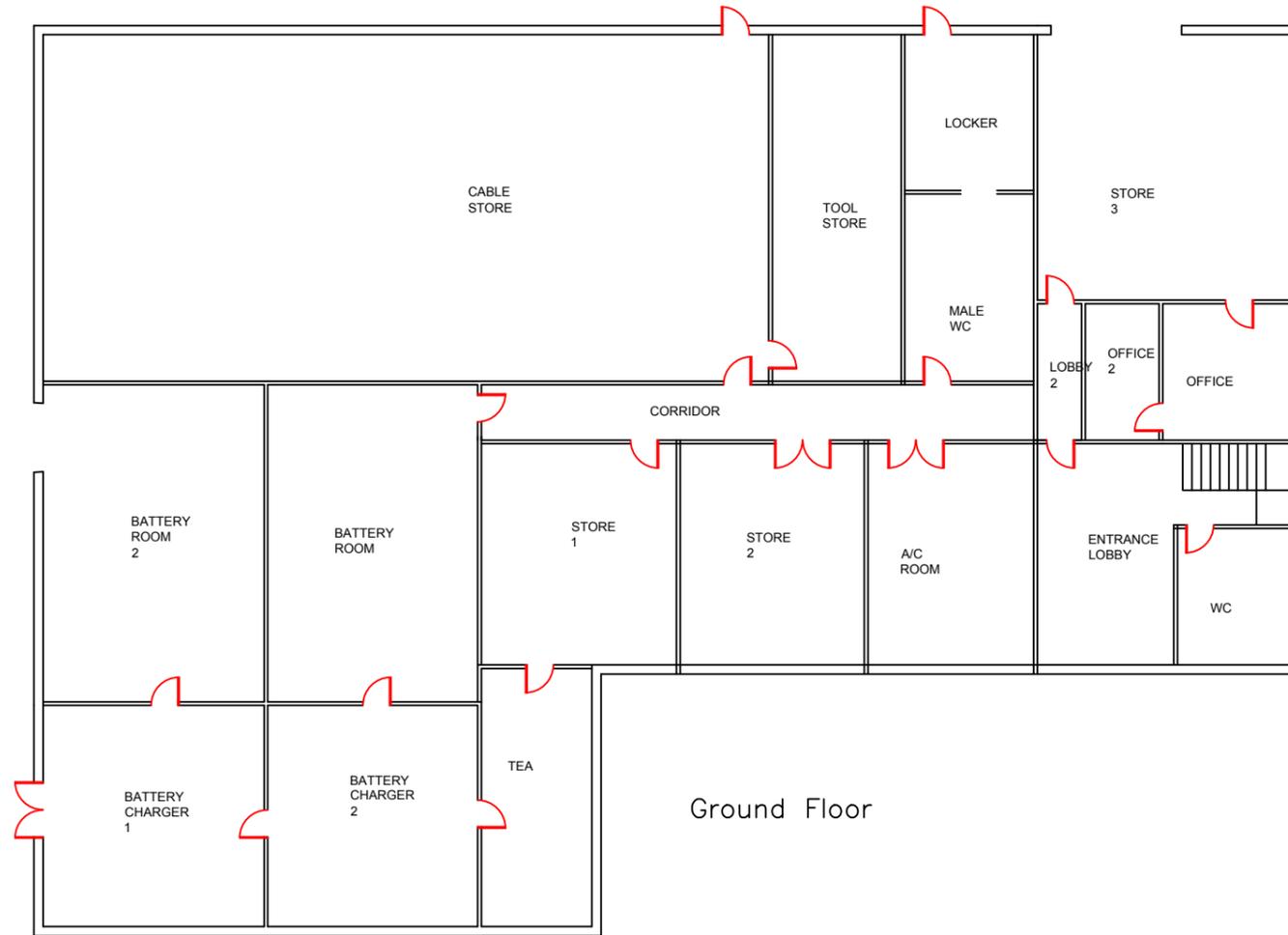
General Notes

No.	Revision/Issue	Date

Firm Name and Address
Knight Frank Australia Pty Ltd
Level 4, 60 Miller Street
North Sydney NSW 2060

Project Name and Address
Transgrid Sub-stations
Dapto
NSW
First Floor

Project	Sheet
Date May 2016	CH 2
Scale NTS	



Dapto Sub Station

General Notes

No.	Revision/Issue	Date

Firm Name and Address
Knight Frank Australia Pty Ltd
Level 4, 60 Miller Street
North Sydney NSW 2060

Project Name and Address
Transgrid Sub-stations
Dapto
NSW
Ground Floor

Project	Sheet
Date May 2016	CH 1
Scale NTS	

Appendix III

Previous Condition Report

BUILDING CONDITION REPORT TRANSGRID

IN RESPECT OF:

LVAC Auxiliary Supply Building, Dapto, Yallah Road, Yallah,
NSW 2530

13 January 2014

KNIGHT FRANK: PASSIONATELY PROFESSIONAL

At Knight Frank Project Management & Building Consultancy our goal is to work closely with owners and occupiers of commercial and industrial premises to deliver excellent, practical, and commercially minded Project Management & Building Consultancy solutions which align perfectly with the business requirements of our clients.

We seek to apply the following guiding principles to every project, every instruction, and in every dealing we undertake:

- ❖ Trust and integrity at every level
- ❖ Teamwork at the heart of everything we do
- ❖ Driven to go the extra mile to exceed our clients requirements
- ❖ Professionalism that is unrivalled

We're passionate about property. We aim to be progressive in our thinking. And above all, we are consummately professional in everything we do.

QUALITY ASSURANCE

Report Version	Prepared By		Audited By		Authorised By		Comments & Distribution
	Name	Date	Name	Date	Name	Date	
Issued	CB	23/12/13	DL	13/01/14	CB	13/01/14	Sam Franov-Transgrid
File Location:	I:\A. Live Projects\S13 283 - Transgrid - Dapto Substation, Yallah\3 Reports						

CONTENTS

1. Introduction	4
2. General Description of Property	6
3. Description and Condition Overview	8
4. CAPEX & R&M Costings.....	18

APPENDICES

Appendix I	Capex Report
Appendix II	Limitations and Guidance Notes

1. INTRODUCTION

1.1 Instructions and Brief

Knight Frank Project Management & Building Consultancy received instructions to proceed with an inspection of the LVAC Auxiliary Supply Building located within TransGrid's Dapto Substation, Yallah Road, Yallah, NSW 2530 from Mr Sam Franov of Transgrid on 11th December 2013.

In summary, you required us to make a visual inspection of the property and to provide an executive summary report of our findings as to its general features, form of construction and state of repair along with a Reinstatement cost Assessment for the property.

Our understanding of your detailed requirements was confirmed to you in our letter dated 31st October 2013. This letter also indicated the limitations that we anticipated would apply to our work and these are repeated at Appendix II. We confirm that the anticipated limitations apply in full to our inspection and this report.

1.2 Site Inspection

The property was inspected on 19th December 2013 by the following:

- Chris Barker MRICS, Director – Knight Frank Australia Pty Ltd

We were accompanied during our inspection by Darren Ngo, who provided access to the building during the course of our inspection.

The prevailing weather at the time of our inspection was dry and bright.

The front elevation of the buildings is assumed to face due east and other parts of the property take their compass reference from this orientation.



Image courtesy of Google Earth 2013

1.3 Documentation Reviewed

In the Schedule of Documents Reviewed, as detailed below, we identify those documents that have been reviewed in the course of preparing this report.

Documents reviewed include:

- Site Plan

No maintenance documentation was provided or reviewed and our report has been based on physical inspection of the asset and speaking with the above maintenance contractors.

1.4 Terminology

Where the terms “right hand” or “left hand” are used, they assume that the reader is facing the element being described.

Where the condition grading has been used in assessing the asset and its elements based on the clients requirements.

Existing Condition Grading

The condition of each element has been assessed using the following grades:

Grade 1	-	Excellent Condition. Performing as if new with no issues.
Grade 2	-	Good. Performing as intended and operating efficiently.
Grade 3	-	Fair. Performing as intended but exhibiting minor deterioration.
Grade 4	-	Poor. Exhibiting major defects and / or not operating as intended.
Grade 5	-	Very Poor. Life expired and / or serious risk of imminent failure.

The following priority grades are recommended in the context of a Capex & R&M schedule:

Priority 1	-	Urgent work that will prevent immediate closure of premises and / or address an immediate high risk to the health and safety of occupants and / or remedy a serious breach of legislation.
Priority 2	-	Essential work required within two to four years that will prevent serious deterioration of the fabric or services and / or address a medium risk to the health and safety of occupants and / or remedy a less serious breach of legislation.
Priority 3	-	Desirable work required within five to seven years that will prevent deterioration of the fabric or services and / or address a medium risk to the health and safety of occupants and / or remedy a minor breach of legislation.
Priority 4	-	Long term work required between eight to ten year planning period that will prevent deterioration of the fabric or services.

All elements have been assessed over the following periods:

- Immediate – within 12 months
- Short term – 1-2 years
- Medium term – 3-5 years
- Long term – 6-10 years

2. GENERAL DESCRIPTION OF PROPERTY



Image taken by Chris Barker 19/12/13

The property is a single storey purpose built LVAC Auxiliary Supply Building constructed in circa 1980 – 1985.

The building is a load bearing cavity brick structure under an assumed metal and timber lean-to roof with profiled metal roof coverings and an aluminium perimeter gutter running along the rear elevation with aluminium downpipes. Externally the building includes metal framed windows predominantly casement type, timber access doors and a metal roller shutter door.

Internally the building includes a concrete ground bearing floor slab with sections cast for service trenches and assumed concrete foundations. The internal areas are basic and fitted out with plaster/rendered walls with paint finishes and painted plasterboard ceiling with plaster coving and surface fixed lighting.

The property is located on Yallah Road, Yallah which is located approximately 10km south of Wollongong within a rural area. Access to the site is via a tarmac road.

The property is accessible by car but has no public transport access.

According to the information provided to us, the building provides approximately 135 square metres of net lettable space.

The building includes basic domestic type services including:

Mechanical

- Mechanical exhausts

Electrical

- Electrical supply and distribution board
- General lighting
- LVAC equipment (outside scope)
- Speakers and alarms

Fire

- Smoke/heat detection
- Fire extinguishers

Hydraulic

- Drainage

There is also LVAC equipment within the building which forms part of the building infrastructure which falls outside the scope of these works.

3. DESCRIPTION AND CONDITION OVERVIEW

The property is generally in fair condition commensurate its age and use and appears to be free from serious structural defects. We did note however a number of minor items of repairs and recommendations given the buildings and as detailed below:

3.1 External

- The roof sheets although still performing are very aged and from the original construction date and would recommend replacement in the short to medium term;



Images taken by Chris Barker dated 19/12/13

- The lead flashing should be replaced as part of any roof replacement works along with the soffit and fascia boards;



Images taken by Chris Barker dated 19/12/13

- The external drainage including downpipes and gutters along the front and rear elevations are showing signs of corrosion and damage but appear to be still performing. We would recommend replacement of these in the short to medium term;



Images taken by Chris Barker dated 19/12/13

- There are 3 areas of missing brickwork to the right elevation from previous service penetrations. These areas should be filled with new brickwork to prevent deterioration and as part of pest control;



Images taken by Chris Barker dated 19/12/13

- The windows are considered to be in poor condition, aged but still performing. The windows appear to be from the date of construction and given their life expectancy we would recommend replacement in the medium term. In addition to this we noted the putty sealant is brittle and there were 3 cracked glazing panels. These should be overhauled and replaced in the immediate to short term;



Images taken by Chris Barker dated 19/12/13



Image taken by Chris Barker dated 19/12/13

- The timber access and entrance doors are generally considered to be in poor condition, aged but still performing. Repainting works should be carried out to the doors in the short term to maintain their finishes. In addition to this the main door should be replaced immediately due to being beyond repair;



Images taken by Chris Barker dated 19/12/13

- The soffit boards are asbestos and any works to the gutters, fascia's and soffits should be undertaken in correct procedures as not to disturb or damage the asbestos boards. Repainting works should be carried out to the soffit and fascia boards in the short to medium term.



Images taken by Chris Barker dated 19/12/13



Image taken by Chris Barker dated 19/12/13

- The external lighting is in poor condition and should be replaced in the short to medium term;



Images taken by Chris Barker dated 19/12/13

- The roller shutter door is considered to be in poor condition and heavily corroded to the bottom rails. Allow for replacement in the short to medium term;



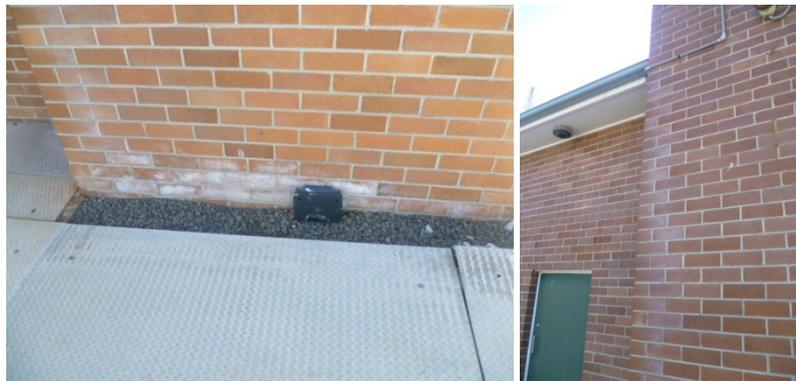
Images taken by Chris Barker dated 19/12/13

- Local hairline diagonal cracking to the rear elevation brickwork. Although nothing serious local monitoring and brick pointing should be carried out in the medium term;



Images taken by Chris Barker dated 19/12/13

- Minor efflorescence staining was noted to a section of brickwork. Allow for cleaning in the short term;



Images taken by Chris Barker dated 19/12/13

- The fascia boards to the adjacent storage sheds have begun to rot and should be replaced in the short term.



Image taken by Chris Barker dated 19/12/13

3.2 Internal

3.2.1 Generally

The LVAC Auxiliary Supply Building is currently in use and comprises of 2 rooms both with exposed concrete ground floor slab, painted plaster/rendered walls with a plaster coving and plaster painted ceilings with exposed steel beams and surface fixed spot lights and strip lights.

The buildings finishes are heavily aged throughout with soiled surfaces and generally considered to be in poor condition. We did not note any major defects internally but the building would welcome a number of planned upgrades as detailed below:

- The existing render/plaster finish to the walls to both rooms is showing hairline map cracking. As part of any refurbishment works the plaster should be stripped off and reapplied followed by redecoration works;



Images taken by Chris Barker dated 19/12/13

- Diagonal 2-3mm cracking was noted within the workshop area above the main entrance door, rear door and around the rear elevation column. These areas should be repaired in the short term to prevent further deterioration of the walls;



Images taken by Chris Barker dated 19/12/13



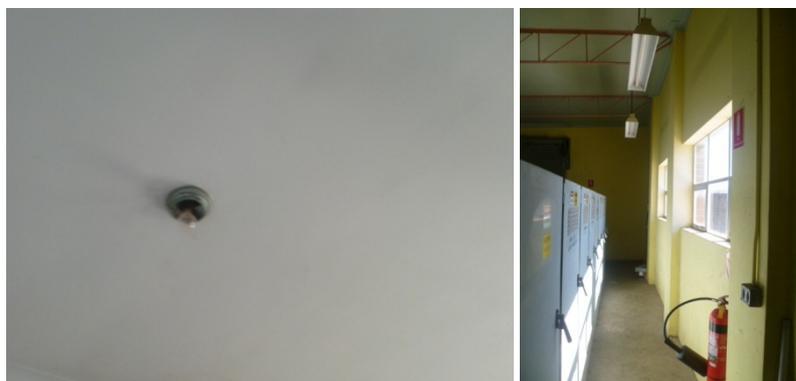
Image taken by Chris Barker dated 19/12/13

- Heavily soiled surfaces throughout. Allow for regular cleaning and repainting in the short to medium term;



Images taken by Chris Barker dated 19/12/13

- The lighting was in poor condition and aged but still performing. There had been a number of replacement bulbs evident. Given the age and condition of the lighting we would recommend modernisation of the light fittings in the short to medium term;



Images taken by Chris Barker dated 19/12/13

- There was a section of rotten and missing plaster coving to the workshop area from suspect roof leaks. Allow for repairs throughout in the short term;



Images taken by Chris Barker dated 19/12/13

- Minor cracking noted to the window cill to the auxiliary room in one location. Allow for local repairs as required;



Images taken by Chris Barker dated 19/12/13

3.3 Services generally

The property contains electricity supplying the lighting, power and mechanical extract ventilation along with the infrastructure works located internally and externally to the building. Whilst we have not carried out an inspection or any tests on the mechanical, electrical or drainage services, we noted that the systems are generally in a fair to poor condition, aged and date back to the original construction.

The electrical services are generally in fair condition albeit aged and would welcome an overhaul in the reporting period given their age and parts becoming obsolete. There is one distribution board which has no RCD protection, which will need to be fitted by 2014. The wiring to the property appears to be in fair condition but original but we do not expect any major rewiring is required in the short term. The board also may contain asbestos.



Image taken by Chris Barker dated 19/12/13

The electricity appears to be used to supply lighting and power which includes a combination of surface mounted spot lights and strip lights operated by push button switches and general electrical power etc.



Images taken by Chris Barker dated 19/12/13

We noted that certain lights were not working within the property and generally the fittings would benefit from an upgrade as part of any refurbishment works along with individual tube replacement where not working at present as detailed above. Some light bulbs have been replaced by energy savings globes.



Images taken by Chris Barker dated 19/12/13

The property did not seem to include for emergency exit lighting or fire exit signage and we would recommend these be installed to comply with current standards (if required).

There appears to be no water mains supply to the building.

No inspection could be undertaken on the below ground drains but we have made comment on the above ground drainage in the external section above.

Fire extinguishers were provided within both rooms to the building and have been tested and tagged.



Images taken by Chris Barker dated 19/12/13

3.4 Building Code of Australia (BCA)

The building will not satisfy a variety of contemporary standards of construction and performance criteria set out in the current Building Codes , because the BCA is continual being upgraded. This statement is true of the vast majority of buildings in the Australia.

In NSW the Environmental Planning and Assessment Act 2005 (EP&A Act) contains the legislation applicable to the development of buildings. The EP&A Act applies the BCA as the technical requirements to be met in new buildings and new building work. This legislation does not apply retrospectively to existing buildings. This avoids the need for constant improvement of properties to satisfy current standards.

However, in addition to the requirement for new work to comply with the BCA, in cases of existing buildings undergoing alterations and/or additions, some discretion is available for councils to require upgrading of the existing parts of the building to meet the BCA, based on either fire safety or volume of work. This means for an existing building undergoing alterations and/ or additions, that the new work must comply with the BCA and the existing parts of the building are subject to a discretion under which council may require upgrading only on the basis of a Fire Safety matter or development involving more than 50% of the building.

There are a few items within the building where compliance with the current provisions of the BCA 2011 would not be met. It should be noted that whilst the building has non-compliances against the current provisions of the BCA, there is no formal requirement to immediately address any of these issues as this is an existing building. Should works be carried out that required DA approval or a CDC be issued it is likely that these items will be triggered.

Allow for an asbestos report to be undertaken to the property in line with current legislation in the event of any repairs and maintenance works.

4. CAPEX & R&M COSTINGS

4.1 CAPEX & R&M

The various defects and other shortcomings noted within this report are summarised at Appendix I for your ease of reference, along with budget cost estimates for the 4 time periods as detailed in the brief.

- Immediate \$7,920.00
- Short \$74,346.00
- Medium \$28,440.00
- Long \$12,840.00

The costs exclude GST and associated management fees.

APPENDICES

APPENDIX I

CAPEX REPORT

Condition Survey

- Condition rating**
 1 Excellent Condition
 2 Good
 3 Fair
 4 Poor

- The following priority grades are recommended in the context of a ten year planning period:**
Priority 1 - Urgent work that will prevent immediate closure of premises and / or address an immediate high risk to the health and safety of occupants and / or remedy a serious breach of legislation
Priority 2 - Essential work required within two to four years that will prevent serious deterioration of the fabric or services and / or address a medium risk to the health and safety of occupants and / or remedy a less
Priority 3 - Desirable work required within five to seven years that will prevent deterioration of the fabric or services and / or address a medium risk to the health and safety of occupants and / or remedy a minor breach of
Priority 4 - Long term work required between eight to ten year planning period that will prevent deterioration of the fabric or services.

PREDICTED CAPEX & MAINTENANCE COSTS (\$) excl GST

ITEM NO	LOCATION/ ELEMENT	DESCRIPTION	CONDITION	CURRENT CONDITION RATING (1-5)	REMEDIAL WORKS REQUIRED	CAP/ R&M	Priority	Replacement Date & Cost				TOTAL BUDGET (excludes per annum)	
								Immediate (within 12 months)	Short (1-2 years)	Medium (3-5 years)	Long (6-10 years)		
415V LVAC Auxiliary Supply Building Dapto													
1.0 Externals													
1.1 Roof													
1.1.1	Coverings to main roof	Steel framed sloping roof with metal profiled roof sheets.	Generally in very poor condition, aged but still performing.	3	Allow for replacement of the roof sheets to the original building in the medium term given their age and condition.	CAP	2	\$	15,400.00			\$	15,400.00
1.1.2	Coverings to main roof	Steel framed pitched roof with metal profiled roof sheets.	Local corrosion to the fascia panels running along the elevation.	4	Replace as part of the roof replacement works.	CAP	2	\$	1,500.00			\$	1,500.00
1.1.3	Drainage	Metal gutter running along the elevation with external aluminium downpipes.	Generally in fair to poor condition but aged	3	Replace as part of the roof replacement works.	CAP	2	\$	2,000.00			\$	2,000.00
1.1.4	Drainage	Metal gutter running along the elevation with external aluminium downpipes.	Generally in fair to poor condition but aged	3	Continue to clean	R&M	1	\$	350.00			\$	350.00
1.1.5	Fascia & Soffits	Asbestos soffits with timber fascia boards.	Minor discolouration to finishes.	3	Allow for painting in the short term.	R&M	2	\$	1,500.00			\$	1,500.00
1.1.6	Fascia & Soffits	Asbestos soffits with timber fascia boards.	Any works to take account of the asbestos.	3	Undertake local patch repairs as required.	R&M	2	\$	750.00			\$	750.00
1.1.7	Fascia & Soffits	Asbestos soffits with timber fascia boards.	Minor rotting to timber fascia's	3	Undertake local patch repairs as required.	R&M	2	\$	750.00			\$	750.00
1.2 External Elevations													
1.2.1	Façade	Single Storey building with fair faced cavity brick external walls.	Generally in fair condition	3	No major capex upgrade works required in the reporting period.	CAP	4					\$	-
1.2.2	Façade	Single Storey building with fair faced cavity brick external walls.	Missing brickwork to the right elevation.	3	Repair as required.	R&M	2	\$	750.00			\$	750.00
1.2.3	Façade	Single Storey building with fair faced cavity brick external walls.	Efflorescence staining to brickwork.	3	Clean as required	R&M	3			\$	250.00	\$	250.00
1.2.4	Façade	Single Storey building with fair faced cavity brick external walls.	Minor shrinkage cracking to the brickwork to the rear elevation.	3	Allow for repairs in the medium to long term.	R&M	4					\$	1,700.00

Condition Survey

- Condition rating**
 1 Excellent Condition
 2 Good
 3 Fair
 4 Poor

- The following priority grades are recommended in the context of a ten year planning period:**
Priority 1 - Urgent work that will prevent immediate closure of premises and / or address an immediate high risk to the health and safety of occupants and / or remedy a serious breach of legislation
Priority 2 - Essential work required within two to four years that will prevent serious deterioration of the fabric or services and / or address a medium risk to the health and safety of occupants and / or remedy a less
Priority 3 - Desirable work required within five to seven years that will prevent deterioration of the fabric or services and / or address a medium risk to the health and safety of occupants and / or remedy a minor breach of
Priority 4 - Long term work required between eight to ten year planning period that will prevent deterioration of the fabric or services.

PREDICTED CAPEX & MAINTENANCE COSTS (\$) excl GST

ITEM NO	LOCATION/ ELEMENT	DESCRIPTION	CONDITION	CURRENT CONDITION RATING (1-5)	REMEDIAL WORKS REQUIRED	CAP/ R&M	Priority	Replacement Date & Cost				TOTAL BUDGET (excludes per annum)
								Immediate (within 12 months)	Short (1-2 years)	Medium (3-5 years)	Long (6-10 years)	
1.2.5	Windows & doors	Metal roller shutter door to the side elevation.	Generally in fair to poor condition but aged.	4	Given the age and life expectancy we would recommend replacement in the medium term.	CAP	3			\$ 10,000.00		\$ 10,000.00
1.2.6	Windows & doors	Metal roller shutter doors to the side elevations.	Discolouration to paint finishes.	4	Derust and repaint in the short term.	R&M	2		\$ 750.00			\$ 750.00
1.2.7	Windows & doors	Metal framed single glazed windows internally fixed.	Generally in poor condition and aged.	4	Given their age and life expectancy we would recommend replacement in the medium to long term.	CAP	4			\$ 9,000.00	\$ 9,000.00	\$ 18,000.00
1.2.8	Windows & doors	Metal framed single glazed windows internally fixed.	Putty sealant brittle and loose in areas.	4	Reseal all windows in the short term.	R&M	2		\$ 2,000.00			\$ 2,000.00
1.2.9	Windows & doors	Metal framed single glazed windows internally fixed.	Cracked window pains to front and rear elevation.	4	Replace glazing.	R&M	1	\$ 500.00				\$ 500.00
1.2.10	Joinery- Doors	Timber access doors with paint finish.	The front door is in poor condition and beyond repair.	4	Replace front door in immediate term.	R&M	1	\$ 1,250.00				\$ 1,250.00
1.2.11	Joinery- Doors	Timber access doors with paint finish.	Generally in fair condition but aged with faded and soiled paintwork.	3	Allow for repainting in medium term.	CAP	2		\$ 600.00			\$ 600.00
1.2.12	Fixtures & Fittings	Surface fixed circular light fittings.	Generally in poor condition.	4	Replace in medium term	CAP	3			\$ 1,500.00		\$ 1,500.00
1.2.13	Fixtures & Fittings	Surface fixed strip light fittings.	Missing light diffusers.	4	Replace in short term.	R&M	2		\$ 250.00			\$ 250.00
2.0 Internals												
2.1 Workshop												
2.1.1	Ceilings	Plaster Painted ceilings with surface mounted lights and exposed steel lattice beams.	Generally in fair condition commensurate age and use.	3	Budget for repainting in the short term.	R&M	2		\$ 1,200.00			\$ 1,200.00
2.1.2	Ceilings	Plaster Painted ceilings with surface mounted lights and exposed steel lattice beams.	Damage to the plaster coving.	4	Replace damaged sections of coving in the short term.	R&M	2		\$ 500.00			\$ 500.00
2.1.3	Walls	Plastered walls with paint finish.	Generally in poor condition with multiple map hairline cracking throughout.	4	Allow for removing the plaster/render finish and recoat walls.	R&M	2		\$ 7,500.00			\$ 7,500.00
2.1.4	Walls	Plastered walls with paint finish.	Generally in poor condition with multiple map hairline cracking throughout.	4	Budget for repainting in the short term.	R&M	2		\$ 2,125.00			\$ 2,125.00

Condition Survey

- Condition rating**
 1 Excellent Condition
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 3 Fair
 4 Poor

- The following priority grades are recommended in the context of a ten year planning period:**
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Priority 3 - Desirable work required within five to seven years that will prevent deterioration of the fabric or services and / or address a medium risk to the health and safety of occupants and / or remedy a minor breach of
Priority 4 - Long term work required between eight to ten year planning period that will prevent deterioration of the fabric or services.

PREDICTED CAPEX & MAINTENANCE COSTS (\$) excl GST

ITEM NO	LOCATION/ ELEMENT	DESCRIPTION	CONDITION	CURRENT CONDITION RATING (1-5)	REMEDIAL WORKS REQUIRED	CAP/ R&M	Priority	Replacement Date & Cost				TOTAL BUDGET (excludes per annum)
								Immediate (within 12 months)	Short (1-2 years)	Medium (3-5 years)	Long (6-10 years)	
2.1.5	Walls	Plastered walls with paint finish.	Diagonal cracking in 3 no. locations.	4	Remove render, expose cracking and repair as required.	R&M	1	\$ 2,500.00				\$ 2,500.00
2.1.6	Joinery- Doors	Timber access doors with paint finish.	Aged door ironmongery but still performing.	3	Overhaul and replace in the medium term.	R&M	3			\$ 225.00		\$ 225.00
2.1.7	Lighting	Surface mounted spot lights with combination of new and old bulbs..	Generally in poor condition.	4	Allow for replacement of all light fittings in the medium term.	CAP	3			\$ 2,500.00		\$ 2,500.00
2.1.8	Fixtures & Fittings	Mechanical extract fan.	Aged and in poor condition.	4	Replace in the short term.	CAP	2		\$ 1,000.00			\$ 1,000.00
2.2	Auxiliary Room											
2.2.1	Ceilings	Plaster Painted ceilings with surface mounted lights and exposed steel lattice beams.	Generally in fair condition commensurate age and use.	3	Budget for repainting in the short term.	CAP	2		\$ 1,600.00			\$ 1,600.00
2.2.2	Walls	Plastered walls with paint finish.	Generally in poor condition with multiple map hairline cracking throughout.	4	Allow for removing the plaster/render finish and recoat walls.	R&M	2		\$ 8,400.00			\$ 8,400.00
2.2.3	Walls	Plastered walls with paint finish.	Generally in poor condition with multiple map hairline cracking throughout.	4	Budget for repainting in the short term.	R&M	2		\$ 2,380.00			\$ 2,380.00
2.2.4	Walls	Plastered walls with paint finish.	Vertical and horizontal cracking in 2 no. locations below windows.	4	Remove render, expose cracking and repair as required.	R&M	2	\$ 2,000.00				\$ 2,000.00
2.2.5	Joinery- Doors	Timber access doors with paint finish.	Aged door ironmongery but still performing.	3	Overhaul and replace in the medium term.	R&M	3			\$ 225.00		\$ 225.00
2.2.6	Lighting	Surface mounted strip lights with non energy efficient light tubes.	Generally in poor condition.	4	Allow for replacement of all light fittings in the short term.	CAP	2		\$ 2,500.00			\$ 2,500.00

Condition Survey

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 1 Excellent Condition
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 3 Fair
 4 Poor

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Priority 3 - Desirable work required within five to seven years that will prevent deterioration of the fabric or services and / or address a medium risk to the health and safety of occupants and / or remedy a minor breach of
Priority 4 - Long term work required between eight to ten year planning period that will prevent deterioration of the fabric or services.

PREDICTED CAPEX & MAINTENANCE COSTS (\$) excl GST

ITEM NO	LOCATION/ ELEMENT	DESCRIPTION	CONDITION	CURRENT CONDITION RATING (1-5)	REMEDIAL WORKS REQUIRED	CAP/ R&M	Priority	Replacement Date & Cost				TOTAL BUDGET (excludes per annum)					
								Immediate (within 12 months)	Short (1-2 years)	Medium (3-5 years)	Long (6-10 years)						
3 Plant & Equipment Generally																	
3.1	Emergency and exit lighting	Non present	There are no emergency exit lights or signage.	5	Supply and install lights and signage if required to meet regulations.	CAP	1	\$	2,500.00			\$	2,500.00				
3.2	Annual Fire Safety Statement	Annual Fire Safety Statement	Generally in good condition.	2	Undertake an AFSS annually.	R&M	3	\$	1,000.00			\$	1,000.00				
3.3	Distribution boards	1 no. distribution switch board	No RCD protection	4	Install RCD Protection	CAP	1	\$	2,000.00			\$	2,000.00				
3.4	Distribution boards	1 no. distribution switch board	Regular thermoscans should be carried out of the DB to identify any defects.	4	Undertake annual thermoscans of the DB and repair as required.	R&M	1	\$	1,000.00			\$	1,000.00				
3.5	Smoke detection and alarm system	Smoke detection and alarm system	The building requires annually inspecting and testing.	3	Undertake annual testing as required.	R&M	2	\$	1,000.00			\$	1,000.00				
3.6	Portable extinguishers	Fire extinguishers and fire hose reels within the building.	The building requires annually inspecting and testing.	3	Undertake annual testing as required.	R&M	2	\$	1,000.00			\$	1,000.00				
Total								\$	6,600.00	\$	61,955.00	\$	23,700.00	\$	10,700.00	\$	102,955.00
20% contractor prelims								\$	1,320.00	\$	12,391.00	\$	4,740.00	\$	2,140.00	\$	20,591.00
Total Cost								\$	7,920.00	\$	74,346.00	\$	28,440.00	\$	12,840.00	\$	123,546.00

APPENDIX II

LIMITATIONS AND GUIDANCE NOTES

LIMITATIONS

1. This report is based upon a visual inspection of the property and describes its basic construction and state of repair, highlighting the main items requiring repairs, maintenance and replacement. We have not made comment on any structural issues or proposed specific repairs as this is not a building defects or structural defects report and outside the scope of the instruction.
2. We have not inspected those parts of the building or its services which are built in, covered up or otherwise made inaccessible in the normal course of construction or occupation and we are, therefore, unable to state that such parts are free from rot, beetle, corrosion or any other defect whatsoever.
3. Except to the extent noted in this report, we have not made enquiries of any statutory authorities concerning the present arrangements within the building or the likely effect of any proposed occupation. We should advise that the complexity of the Building Codes and other statutory enactments can have a material effect on the way in which building may be planned and used and upon the cost on consequential work. It is assumed that professional advice will be sought at the appropriate stage to determine any works which may be necessary due to any planned occupation.
4. We have not, except to the extent mentioned in this report, carried out any tests or made any enquiries concerning particular materials nor have we calculated any floor areas for leasing purposes or reappraised original design criteria.
5. In cases where contractors or consultants are instructed to carry out tests or prepare reports, you will appreciate that, whilst we will take every care in instructing these contractors or consultants, we cannot accept responsibility for their report and shall not be liable for error or omission therein. In appointing such contractors or consultants we act only as an agent on behalf of the client, and the contractual rights and obligations lie directly between the client and the relevant contractors or consultants.
6. This report is prepared for the sole use of TransGrid and Knight Frank can accept no liability for its use by any other party howsoever used. The client shall not be entitled to assign any of its interests in the report (including any report prepared by specialist sub consultants) to any third party without the prior written consent of Knight Frank. Assignment may be permitted upon such terms (including payment of a further fee) as Knight Frank may determine and agree with the client.

GUIDANCE NOTES

Contaminated Land Management Act 1997 (CLM)

1. You should be aware that statutory Regulations contained within the Contaminated Land Management Act 1997 (CLM) stipulate a statutory regime for the identification and control of 'contaminated land'. This places the onus on Local Authorities to identify contaminated land in their areas with a view to serving remediation notices where there is a significant risk of significant harm being caused, or the pollution of controlled waters is, or is likely to occur. The notices would be served initially on those who knowingly permitted the contamination (Class A Polluter) but in the absence of such a class of person, notices may be served on the current owner or occupier (Class B Polluters). Once a remediation notice is served, it is necessary for the required remediation works to be undertaken and this can, in some cases, have serious financial implications.
2. Furthermore, it may be possible for a purchaser of property to become a Class A polluter if he 'knowingly permitted' the contaminating substances to be in, on, or under the land. The seller of the property, even if that seller is the original polluter, is able to exempt himself from any liability under the Act by giving the buyer 'sufficient information' to enable him to make a sound, knowledgeable decision on how to proceed. It follows that in most commercial cases, the liability for any contamination will run with the land, and new owners will take on the liabilities of the Class A polluter.
3. As a result of this legislation, in order to assess any latent liabilities it is now common for reports on land quality to be commissioned. These normally comprise an initial desktop study of the site history (Phase I), based on which the risk of contamination can be assessed. Dependent upon the findings of such a study, a visual inspection and physical testing regime may be recommended. Where appropriate, recommendations for such investigation may be found within the text of this report.

The Federal Disability Discrimination Act 1992

1. The Federal Disability Discrimination Act 1992 (DDA) provides protection for everyone in Australia against discrimination based on disability. This legislation is to make unlawful to discriminate against disabled persons and, in this regard, Part III of the Act has a particular implication for property.
2. Part III deals with discrimination in the provision of goods, facilities and services and the disposal and management of property. As from October 1999, the majority of Part III has been implemented and this includes, amongst other matters, a duty for service providers to take reasonable steps to change practices, policies or procedures which make it impossible or unreasonably difficult for disabled people to use a service. They are also required to provide auxiliary aids to overcome, by the provision of alternative methods, physical barriers preventing disabled people from using a service.
3. The final part of Part III requires service providers to take reasonable steps to remove, alter or provide reasonable means of avoiding physical features that make it impossible or unreasonably difficult for disabled people to use a service.
4. As a result of this legislation, it is apparent that assessments will be necessary to cover employment policy, customer services and access. Access audits are now increasingly being commissioned. The purpose of an access audit is to establish the accessibility of the property to disabled people under the requirements of the DDA. Where appropriate, recommendations concerning the need for access audit are set out within the text of this report.

The Work Health & Safety Act 2011

The *Work Health and Safety Act 2011* regulate workplace health and safety (WHS) in NSW. It specifically aims to protect people at workplaces from risk to their health or safety and to promote safe and healthy work environments. The Act was introduced as part of the 'harmonisation' package of Federal and State WHS legislation that commenced on 1 January 2012.

The *Work Health and Safety Act 2011* replaced the previous Occupational Health and Safety Act 2000. The main areas of change are summarised below:

- changes to the terminology used in the legislation, from 'occupational health and safety' to 'work health and safety (WHS)';
- changes to the duties of care, including that the primary duty of care can apply to multiple duty-holders at the same time and that duty-holders must consult with other duty-holders;
- duties of care to exercise due diligence in performing a health and safety duty and to act proactively to ensure health and safety at work are imposed on 'officers' (defined as people 'who make or participate in making decisions that affect the whole or a substantial part of the business or undertaking');
- a broader range of people now have WHS duties and responsibilities — the concept of a 'Person Conducting a Business or Undertaking' (PCBU) instead of 'employer' is now used;
- a broader definition of 'worker', extending beyond the standard employment relationship to include other people such as workplace visitors and volunteers;
- changes to the roles of health and safety representatives, health and safety committees, and authorised representatives;
- workers have the right to cease 'unsafe' work;
- discrimination, coercion, inducement, and misrepresentation that prevents a person from being involved in workplace health and safety is expressly prohibited;
- when a serious incident occurs, the scene must be preserved undisturbed until an inspector attends or the WorkCover Authority directs otherwise;
- union right of entry is broadened to include entry for the purpose of advising and assisting on workplace health and safety;
- workplaces must have an agreed Issue Resolution Procedure;
- increased penalties, and a wider range of them, for breaches of legislation.

Condition Survey

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 1 Excellent Condition
 2 Good
 3 Fair
 4 Poor

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ITEM NO	LOCATION/ ELEMENT	DESCRIPTION	CONDITION	CURRENT CONDITION RATING (1-5)	REMEDIAL WORKS REQUIRED	CAP/ R&M	Priority	Replacement Date & Cost				TOTAL BUDGET (excludes per annum)		
								Immediate (within 12 months)	Short (1-2 years)	Medium (3-5 years)	Long (6-10 years)			
415V LVAC Auxiliary Supply Building Dapto														
1.0 Externals														
1.1 Roof														
1.1.1	Coverings to main roof	Steel framed sloping roof with metal profiled roof sheets.	Generally in very poor condition, aged but still performing.	3	Allow for replacement of the roof sheets to the original building in the medium term given their age and condition.	CAP	2	\$	15,400.00			\$	15,400.00	
1.1.2	Coverings to main roof	Steel framed pitched roof with metal profiled roof sheets.	Local corrosion to the fascia panels running along the elevation.	4	Replace as part of the roof replacement works.	CAP	2	\$	1,500.00			\$	1,500.00	
1.1.3	Drainage	Metal gutter running along the elevation with external aluminium downpipes.	Generally in fair to poor condition but aged	3	Replace as part of the roof replacement works.	CAP	2	\$	2,000.00			\$	2,000.00	
1.1.4	Drainage	Metal gutter running along the elevation with external aluminium downpipes.	Generally in fair to poor condition but aged	3	Continue to clean	R&M	1	\$	350.00			\$	350.00	
1.1.5	Fascia & Soffits	Asbestos soffits with timber fascia boards.	Minor discolouration to finishes.	3	Allow for painting in the short term.	R&M	2	\$	1,500.00			\$	1,500.00	
1.1.6	Fascia & Soffits	Asbestos soffits with timber fascia boards.	Any works to take account of the asbestos.	3	Undertake local patch repairs as required.	R&M	2	\$	750.00			\$	750.00	
1.1.7	Fascia & Soffits	Asbestos soffits with timber fascia boards.	Minor rotting to timber fascia's	3	Undertake local patch repairs as required.	R&M	2	\$	750.00			\$	750.00	
1.2 External Elevations														
1.2.1	Façade	Single Storey building with fair faced cavity brick external walls.	Generally in fair condition	3	No major capex upgrade works required in the reporting period.	CAP	4					\$	-	
1.2.2	Façade	Single Storey building with fair faced cavity brick external walls.	Missing brickwork to the right elevation.	3	Repair as required.	R&M	2	\$	750.00			\$	750.00	
1.2.3	Façade	Single Storey building with fair faced cavity brick external walls.	Efflorescence staining to brickwork.	3	Clean as required	R&M	3			\$	250.00	\$	250.00	
1.2.4	Façade	Single Storey building with fair faced cavity brick external walls.	Minor shrinkage cracking to the brickwork to the rear elevation.	3	Allow for repairs in the medium to long term.	R&M	4				\$	1,700.00	\$	1,700.00

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								Immediate (within 12 months)	Short (1-2 years)	Medium (3-5 years)	Long (6-10 years)	
1.2.5	Windows & doors	Metal roller shutter door to the side elevation.	Generally in fair to poor condition but aged.	4	Given the age and life expectancy we would recommend replacement in the medium term.	CAP	3			\$ 10,000.00		\$ 10,000.00
1.2.6	Windows & doors	Metal roller shutter doors to the side elevations.	Discolouration to paint finishes.	4	Derust and repaint in the short term.	R&M	2		\$ 750.00			\$ 750.00
1.2.7	Windows & doors	Metal framed single glazed windows internally fixed.	Generally in poor condition and aged.	4	Given their age and life expectancy we would recommend replacement in the medium to long term.	CAP	4			\$ 9,000.00	\$ 9,000.00	\$ 18,000.00
1.2.8	Windows & doors	Metal framed single glazed windows internally fixed.	Putty sealant brittle and loose in areas.	4	Reseal all windows in the short term.	R&M	2		\$ 2,000.00			\$ 2,000.00
1.2.9	Windows & doors	Metal framed single glazed windows internally fixed.	Cracked window pains to front and rear elevation.	4	Replace glazing.	R&M	1	\$ 500.00				\$ 500.00
1.2.10	Joinery- Doors	Timber access doors with paint finish.	The front door is in poor condition and beyond repair.	4	Replace front door in immediate term.	R&M	1	\$ 1,250.00				\$ 1,250.00
1.2.11	Joinery- Doors	Timber access doors with paint finish.	Generally in fair condition but aged with faded and soiled paintwork.	3	Allow for repainting in medium term.	CAP	2		\$ 600.00			\$ 600.00
1.2.12	Fixtures & Fittings	Surface fixed circular light fittings.	Generally in poor condition.	4	Replace in medium term	CAP	3			\$ 1,500.00		\$ 1,500.00
1.2.13	Fixtures & Fittings	Surface fixed strip light fittings.	Missing light diffusers.	4	Replace in short term.	R&M	2		\$ 250.00			\$ 250.00
2.0 Internals												
2.1 Workshop												
2.1.1	Ceilings	Plaster Painted ceilings with surface mounted lights and exposed steel lattice beams.	Generally in fair condition commensurate age and use.	3	Budget for repainting in the short term.	R&M	2		\$ 1,200.00			\$ 1,200.00
2.1.2	Ceilings	Plaster Painted ceilings with surface mounted lights and exposed steel lattice beams.	Damage to the plaster coving.	4	Replace damaged sections of coving in the short term.	R&M	2		\$ 500.00			\$ 500.00
2.1.3	Walls	Plastered walls with paint finish.	Generally in poor condition with multiple map hairline cracking throughout.	4	Allow for removing the plaster/render finish and recoat walls.	R&M	2		\$ 7,500.00			\$ 7,500.00
2.1.4	Walls	Plastered walls with paint finish.	Generally in poor condition with multiple map hairline cracking throughout.	4	Budget for repainting in the short term.	R&M	2		\$ 2,125.00			\$ 2,125.00

Condition Survey

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								Immediate (within 12 months)	Short (1-2 years)	Medium (3-5 years)	Long (6-10 years)	
2.1.5	Walls	Plastered walls with paint finish.	Diagonal cracking in 3 no. locations.	4	Remove render, expose cracking and repair as required.	R&M	1	\$ 2,500.00				\$ 2,500.00
2.1.6	Joinery- Doors	Timber access doors with paint finish.	Aged door ironmongery but still performing.	3	Overhaul and replace in the medium term.	R&M	3			\$ 225.00		\$ 225.00
2.1.7	Lighting	Surface mounted spot lights with combination of new and old bulbs..	Generally in poor condition.	4	Allow for replacement of all light fittings in the medium term.	CAP	3			\$ 2,500.00		\$ 2,500.00
2.1.8	Fixtures & Fittings	Mechanical extract fan.	Aged and in poor condition.	4	Replace in the short term.	CAP	2		\$ 1,000.00			\$ 1,000.00
2.2 Auxiliary Room												
2.2.1	Ceilings	Plaster Painted ceilings with surface mounted lights and exposed steel lattice beams.	Generally in fair condition commensurate age and use.	3	Budget for repainting in the short term.	CAP	2		\$ 1,600.00			\$ 1,600.00
2.2.2	Walls	Plastered walls with paint finish.	Generally in poor condition with multiple map hairline cracking throughout.	4	Allow for removing the plaster/render finish and recoat walls.	R&M	2		\$ 8,400.00			\$ 8,400.00
2.2.3	Walls	Plastered walls with paint finish.	Generally in poor condition with multiple map hairline cracking throughout.	4	Budget for repainting in the short term.	R&M	2		\$ 2,380.00			\$ 2,380.00
2.2.4	Walls	Plastered walls with paint finish.	Vertical and horizontal cracking in 2 no. locations below windows.	4	Remove render, expose cracking and repair as required.	R&M	2	\$ 2,000.00				\$ 2,000.00
2.2.5	Joinery- Doors	Timber access doors with paint finish.	Aged door ironmongery but still performing.	3	Overhaul and replace in the medium term.	R&M	3			\$ 225.00		\$ 225.00
2.2.6	Lighting	Surface mounted strip lights with non energy efficient light tubes.	Generally in poor condition.	4	Allow for replacement of all light fittings in the short term.	CAP	2		\$ 2,500.00			\$ 2,500.00

Condition Survey

- Condition rating**
 1 Excellent Condition
 2 Good
 3 Fair
 4 Poor

- The following priority grades are recommended in the context of a ten year planning period:**
Priority 1 - Urgent work that will prevent immediate closure of premises and / or address an immediate high risk to the health and safety of occupants and / or remedy a serious breach of legislation
Priority 2 - Essential work required within two to four years that will prevent serious deterioration of the fabric or services and / or address a medium risk to the health and safety of occupants and / or remedy a less
Priority 3 - Desirable work required within five to seven years that will prevent deterioration of the fabric or services and / or address a medium risk to the health and safety of occupants and / or remedy a minor breach of
Priority 4 - Long term work required between eight to ten year planning period that will prevent deterioration of the fabric or services.

PREDICTED CAPEX & MAINTENANCE COSTS (\$) excl GST

ITEM NO	LOCATION/ ELEMENT	DESCRIPTION	CONDITION	CURRENT CONDITION RATING (1-5)	REMEDIAL WORKS REQUIRED	CAP/ R&M	Priority	Replacement Date & Cost				TOTAL BUDGET (excludes per annum)					
								Immediate (within 12 months)	Short (1-2 years)	Medium (3-5 years)	Long (6-10 years)						
3 Plant & Equipment Generally																	
3.1	Emergency and exit lighting	Non present	There are no emergency exit lights or signage.	5	Supply and install lights and signage if required to meet regulations.	CAP	1	\$	2,500.00			\$	2,500.00				
3.2	Annual Fire Safety Statement	Annual Fire Safety Statement	Generally in good condition.	2	Undertake an AFSS annually.	R&M	3	\$	1,000.00			\$	1,000.00				
3.3	Distribution boards	1 no. distribution switch board	No RCD protection	4	Install RCD Protection	CAP	1	\$	2,000.00			\$	2,000.00				
3.4	Distribution boards	1 no. distribution switch board	Regular thermoscans should be carried out of the DB to identify any defects.	4	Undertake annual thermoscans of the DB and repair as required.	R&M	1	\$	1,000.00			\$	1,000.00				
3.5	Smoke detection and alarm system	Smoke detection and alarm system	The building requires annually inspecting and testing.	3	Undertake annual testing as required.	R&M	2	\$	1,000.00			\$	1,000.00				
3.6	Portable extinguishers	Fire extinguishers and fire hose reels within the building.	The building requires annually inspecting and testing.	3	Undertake annual testing as required.	R&M	2	\$	1,000.00			\$	1,000.00				
Total								\$	6,600.00	\$	61,955.00	\$	23,700.00	\$	10,700.00	\$	102,955.00
20% contractor prelims								\$	1,320.00	\$	12,391.00	\$	4,740.00	\$	2,140.00	\$	20,591.00
Total Cost								\$	7,920.00	\$	74,346.00	\$	28,440.00	\$	12,840.00	\$	123,546.00

Appendix IV: Limitations and Guidance Notes

LIMITATIONS

1. This report is based upon a visual inspection of the property and describes its basic construction and state of repair, highlighting any principal defects or significant shortcomings that have been found. We have not prepared an exhaustive list of those minor defects or imperfections thought not to have a material bearing upon the proposed acquisition.
2. We understand that your investment agents will provide a report detailing the tenancy profile of the building and addressing other issues relating to the commercial context in which the building is placed. Such issues are therefore excluded from this report.
3. We have not inspected those parts of the building or its services which are built in, covered up or otherwise made inaccessible in the normal course of construction or occupation and we are, therefore, unable to state that such parts are free from rot, beetle, corrosion or any other defect whatsoever.
4. At the time of our inspection, the car parks were in use and for reasons of safety we were unable to raise the drainage access covers. We have not therefore undertaken any inspection of the below ground drainage services and cannot comment on the condition thereof.
5. Except to the extent noted in this report, we have not made enquiries of any statutory authorities concerning the present arrangements within the building or the likely effect of any proposed occupation. We should advise that the complexity of the Building Codes and other statutory enactments can have a material effect on the way in which building may be planned and used and upon the cost on consequential work. It is assumed that professional advice will be sought at the appropriate stage to determine any works which may be necessary due to any planned occupation.
6. We have not, except to the extent mentioned in this report, carried out any tests or made any enquiries concerning particular materials nor have we calculated any floor areas or reappraised original design criteria.
7. In cases where contractors or consultants are instructed to carry out tests or prepare reports, you will appreciate that, whilst we will take every care in instructing these contractors or consultants, we cannot accept responsibility for their report and shall not be liable for error or omission therein. In appointing such contractors or consultants we act only as an agent on behalf of the client, and the contractual rights and obligations lie directly between the client and the relevant contractors or consultants.
8. This report is prepared for the sole use of TransGrid and Knight Frank can accept no liability for its use by any other party howsoever used. The client shall not be entitled to assign any of its interests in the report (including any report prepared by specialist sub consultants) to any third party without the prior written consent of Knight Frank. Assignment may be permitted upon such terms (including payment of a further fee) as Knight Frank may determine and agree with the client.

GUIDANCE NOTES

Contaminated Land Management Act 1997 (CLM)

1. You should be aware that statutory Regulations contained within the Contaminated Land Management Act 1997 (CLM) stipulate a statutory regime for the identification and control of 'contaminated land'. This places the onus on Local Authorities to identify contaminated land in their areas with a view to serving remediation notices where there is a significant risk of significant harm being caused, or the pollution of controlled waters is, or is likely to occur. The notices would be served initially on those who knowingly permitted the contamination (Class A Polluter) but in the absence of such a class of person, notices may be served on the current owner or occupier (Class B Polluters). Once a remediation notice is served, it is necessary for the required remediation works to be undertaken and this can, in some cases, have serious financial implications.
2. Furthermore, it may be possible for a purchaser of property to become a Class A polluter if he 'knowingly permitted' the contaminating substances to be in, on, or under the land. The seller of the property, even if that seller is the original polluter, is able to exempt himself from any liability under the Act by giving the buyer 'sufficient information' to enable him to make a sound, knowledgeable decision on how to proceed. It follows that in most commercial cases, the liability for any contamination will run with the land, and new owners will take on the liabilities of the Class A polluter.
3. As a result of this legislation, in order to assess any latent liabilities it is now common for reports on land quality to be commissioned. These normally comprise an initial desktop study of the site history (Phase I), based on which the risk of contamination can be assessed. Dependent upon the findings of such a study, a visual inspection and physical testing regime may be recommended. Where appropriate, recommendations for such investigation may be found within the text of this report.

The Federal Disability Discrimination Act 1992

1. The Federal Disability Discrimination Act 1992 (DDA) provides protection for everyone in Australia against discrimination based on disability. This legislation is to make unlawful to discriminate against disabled persons and, in this regard, Part III of the Act has a particular implication for property.
2. Part III deals with discrimination in the provision of goods, facilities and services and the disposal and management of property. As from October 1999, the majority of Part III has been implemented and this includes, amongst other matters, a duty for service providers to take reasonable steps to change practices, policies or procedures which make it impossible or unreasonably difficult for disabled people to use a service. They are also required to provide auxiliary aids to overcome, by the provision of alternative methods, physical barriers preventing disabled people from using a service.
3. The final part of Part III requires service providers to take reasonable steps to remove, alter or provide reasonable means of avoiding physical features that make it impossible or unreasonably difficult for disabled people to use a service.
4. As a result of this legislation, it is apparent that assessments will be necessary to cover employment policy, customer services and access. Access audits are now increasingly being commissioned. The purpose of an access audit is to establish the accessibility of the property to disabled people under the requirements of the DDA. Where appropriate, recommendations concerning the need for access audit are set out within the text of this report.

The Work Health & Safety Act 2011

The *Work Health and Safety Act 2011* regulate workplace health and safety (WHS) in NSW. It specifically aims to protect people at workplaces from risk to their health or safety and to promote safe and healthy work environments. The Act was introduced as part of the 'harmonisation' package of Federal and State WHS legislation that commenced on 1 January 2012.

The *Work Health and Safety Act 2011* replaced the previous Occupational Health and Safety Act 2000. The main areas of change are summarised below:

- changes to the terminology used in the legislation, from 'occupational health and safety' to 'work health and safety (WHS)';
- changes to the duties of care, including that the primary duty of care can apply to multiple duty-holders at the same time and that duty-holders must consult with other duty-holders;
- duties of care to exercise due diligence in performing a health and safety duty and to act proactively to ensure health and safety at work are imposed on 'officers' (defined as people 'who make or participate in making decisions that affect the whole or a substantial part of the business or undertaking');
- a broader range of people now have WHS duties and responsibilities — the concept of a 'Person Conducting a Business or Undertaking' (PCBU) instead of 'employer' is now used;
- a broader definition of 'worker', extending beyond the standard employment relationship to include other people such as workplace visitors and volunteers;
- changes to the roles of health and safety representatives, health and safety committees, and authorised representatives;
- workers have the right to cease 'unsafe' work;
- discrimination, coercion, inducement, and misrepresentation that prevents a person from being involved in workplace health and safety is expressly prohibited;
- when a serious incident occurs, the scene must be preserved undisturbed until an inspector attends or the WorkCover Authority directs otherwise;
- union right of entry is broadened to include entry for the purpose of advising and assisting on workplace health and safety;
- workplaces must have an agreed Issue Resolution Procedure;
- increased penalties, and a wider range of them, for breaches of legislation.

Knight Frank

While our reach is global, we focus on the needs of our clients at a local level. To discuss your requirements, please contact your local Knight Frank office.

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